

Report 2206.03-1

All Souls Church
1500 Harvard Street NW (US)
Report number: 2206.03-1
Date: April 21, 2022 10:00

Status

Feasibility Assessment Walk Through

Weather: 67 Degrees - Overcast

Contacts and people present

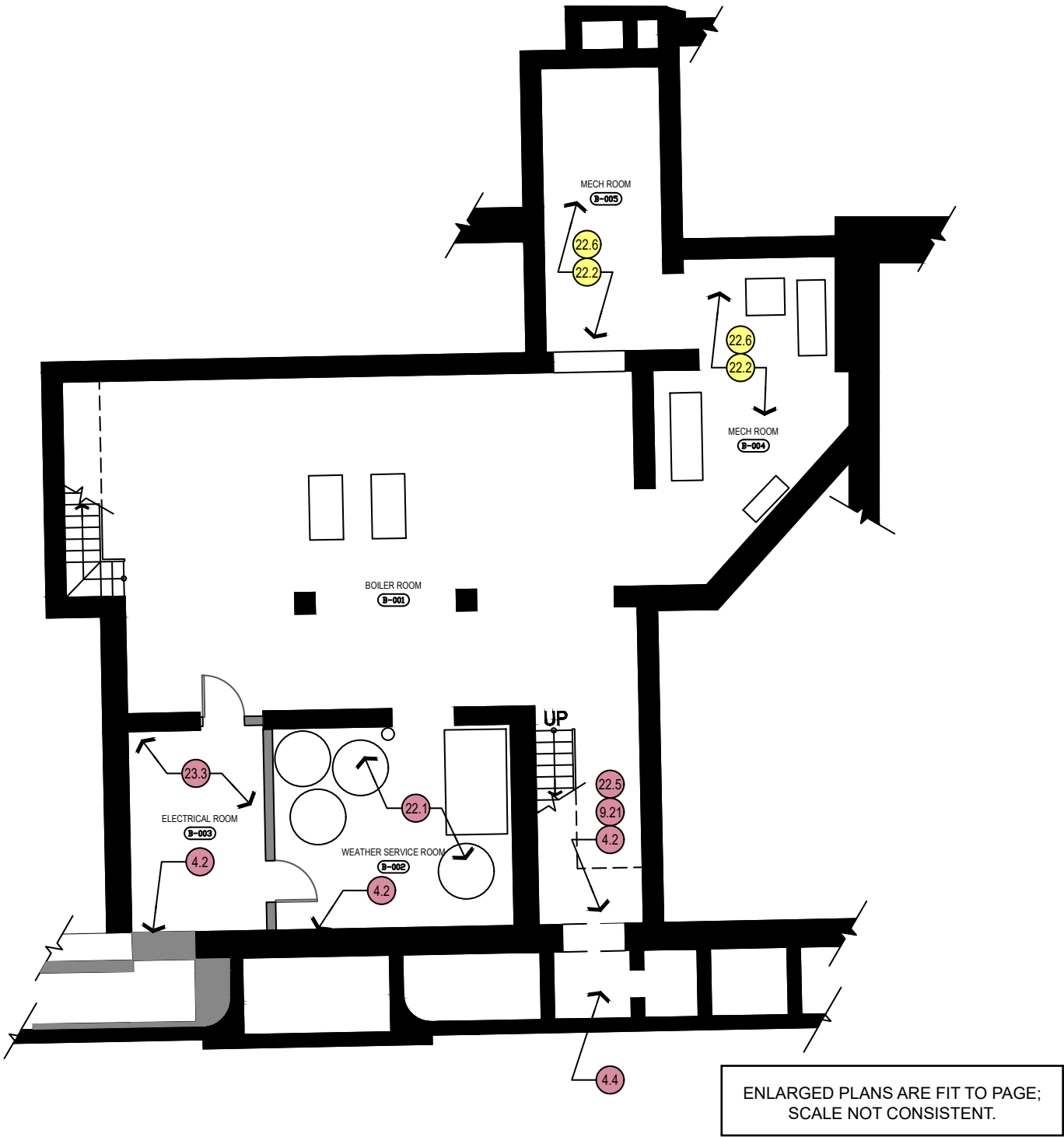
Role and company name	Name	Contact information	Present
Architect, Principal [Kerns Group Architects]	Brian Frickie	703-592-9148 bfrickie@kernsgroup.com	✓
Staff Architect [Kerns Group Architects, PC]	Kylee Besecker	7035926327 kbesecker@kernsgroup.com	✓
Staff Architect [Kerns Group Architects, PC]	Julia Hunger	jhunger@kernsgroup.com	✓
Engineer, Electrical [Provectus, Inc.]	Ali Gachpazha	(703) 823-4694 agachpazha@provectusinc.com	✓
Engineer, Mechanical [Provectus, Inc.]	Alan Payne	(703) 823-4694 apayne@provectusinc.com	✓
Engineer, Plumbing [Provectus, Inc.]	Robert Melton	(703) 823-4694 rmelton@provectusinc.com	✓
Project Engineer, Investigations & Failures [Wiss, Janney, Elstner Associates, Inc.]	Kenneth Kosteva	703.641.4601 kkosteva@wje.com	✓
Engineer, Water/Air Leakage Assessment [Wiss, Janney, Elstner Associates, Inc.]	Brian Moserowitz	703.641.4601 bmoserowitz@wje.com	✓
Structural Engineer [Ehlert Bryan]	Murat "Rod" Seyidoglu	mseyidoglu@ehlert-bryan.com	✓
Structural Engineer, Principal [Ehlert Bryan (EBI)]	Wayne Bryan, PE	703-827-9552 wbryan@ehlert-bryan.com	✗

ALL SOULS CHURCH
BUILDING ASSESSMENT
2022

INTERACTIVE PDF



LOWER LEVEL - BOILER ROOM



2. SITE

- 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
- 2.3 BELOW GRATES NEEDS CLEANING
- 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
- 3.1 NEEDS REPAIR
- 3.2 CAST STONE NEEDS REPAIR
- 3.3 CAST STONE NEEDS CLEANING
- 3.4 STANDING WATER IN WINDOW WELLS
- 3.5 CONCRETE NEEDS CLEANING
- 3.6 STANDING WATER ON CAST STONE STEPS
- 3.7 EFFLORESCENCE ON CAST STONE; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.

4. MASONRY

- 4.1 EVIDENCE OF WATER DAMAGE; INVESTIGATE; REPAIR.
- 4.2 EVIDENCE OF WATER INFILTRATION/ EFFLORESCENCE; INVESTIGATE; REPAIR
- 4.3 MASONRY CRACKING
- 4.4 CONC DAMAGE, EXPOSED REBAR
- 4.5 PATCH/REPAIR CMU
- 4.6 PT CMU
- 4.7 CLEAN MASONRY

5. METALS

- 5.1 RAILING POSTS NEED REPAIR
- 5.2 MTL LOUVER RUSTED
- 5.3 REPAIR/REPAINT MTL STAIRS/LAND
- 5.4 MTL GRATE OVER WELL NEEDS REPAIR
- 5.5 UNUSED
- 5.6 MTL FLASHING NEEDS TO BE REPAIRED/REPLACED

6. WOOD AND PLASTICS

- 6.1 WD LOUVER NEEDS REPAIR
- 6.2 WD PANELING NEEDS REPAIR
- 6.3 WD COLUMNS CHIPPED OR CRACKED, NEEDS REPAIR
- 6.4 WD STAIRS NEEDS REPAIR

7. THERMAL AND MOISTURE PROTECTION

- 7.1 WEATHER- STRIPPING NEEDS REPAIR OR IS MISSING

8. DOORS AND WINDOWS

- 8.1 EXT MTL FRAME & DOOR NEEDS TO BE REPAIRED/REPLACED
- 8.2 RESTORE DETERIORATING WDW/FR/SASH/SILL
- 8.3 RESTORE DETERIORATING EXT WD DOOR
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- 8.6 WATER MARK ON SKYLIGHT
- 8.7 INT WD DR NEEDS REPAIR
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- 8.9 INT WD DR FRAME NEEDS REPAIR

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- 9.1 PATCH/REPAIR GWB/PLASTER HOLES
- 9.2 TERRA COTTA /EXPOSED CLAY NEEDS PATCHING/REPAIR
- 9.3 WALL CRACKED: PATCH/REPAIR
- 9.4 REPAIR FLOORING
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- 9.6 EVIDENCE OF ANT INFESTATION; IDENTIFY POINT OF ENTRY AND REPAIR.
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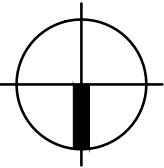
23. HVAC

- 23.1 HVAC UNIT NOT LEVEL
- 23.2 HVAC UNIT NEEDS REPAIR/ REPLACEMENT
- 23.3 OPEN DUCTWORK, REPAIR

26. ELECTRICAL

- 26.1 EXT LIGHT FIXTURE NEEDS REPAIR
- 26.2 EXPOSED WIRING
- 26.3 INT LIGHT FIXTURE NEEDS REPAIR
- 26.4 UNUSED
- 26.5 OUTLET MISSING COVER

LEGEND



- GOOD CONDITION: NO REPAIR REQD. AND/ OR AT BEGINNING OF USEFUL LIFE
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● **Boiler Room - B-001**
[1.1]

- Reinforced concrete has begun to deteriorate around the the drain pipe exposing the pipe and rebar reinforcement which has compromised the integrity of the concrete. This is located near the perimeter wall adjacent to the weather service room.
- Exposed pipe reveals unconventional support of pipe with PVC pipes and pipe surrounded with what appears to be a heavy duty black garbage bag.
- Cause of deterioration appears to be from water infiltration and/or stress concentration, but further investigation is required to confirm.
- Cause of deterioration should be investigated and cause resolved. Concrete should be repaired as required.
- Refer to images below.



Concrete breaks collected across floor.



Exposed pipe and main location of concrete deterioration.

● Weather Service
Room - B-002 [1.2]



Pump line appears to be leaking from an interior point. Location of leak could not be observed.



Signs of water infiltration at perimeter wall. Leak appears to be from exterior and will require further investigation to locate.

● Electrical Room - B-003 [1.3]

- The room is currently generating a significant amount of heat. Building is currently using a fan to help mitigate the heat. The room should be provided with the proper cooling to maintain the necessary temperatures for the electrical equipment and to provide proper air circulation of the space.

- Signs of water infiltration in the space. Area of infiltration should be located and repaired as required. Repair/paint wall as required after infiltration has been resolved. See image below.



Signs of water infiltration at back corner of the room.

● Mechanical Rooms -
B-004, B-005 [1.4]



Multiple rips and gaps in pipe insulation. Insulation should be repaired/replaced as required.



Evidence of pipe corrosion due to water leak. Water leak appears to be from a hot water pipe above.



Pipe appears to be leaking at seam. Evidence of leak on floor below. Repair as required.

LOWER LEVEL



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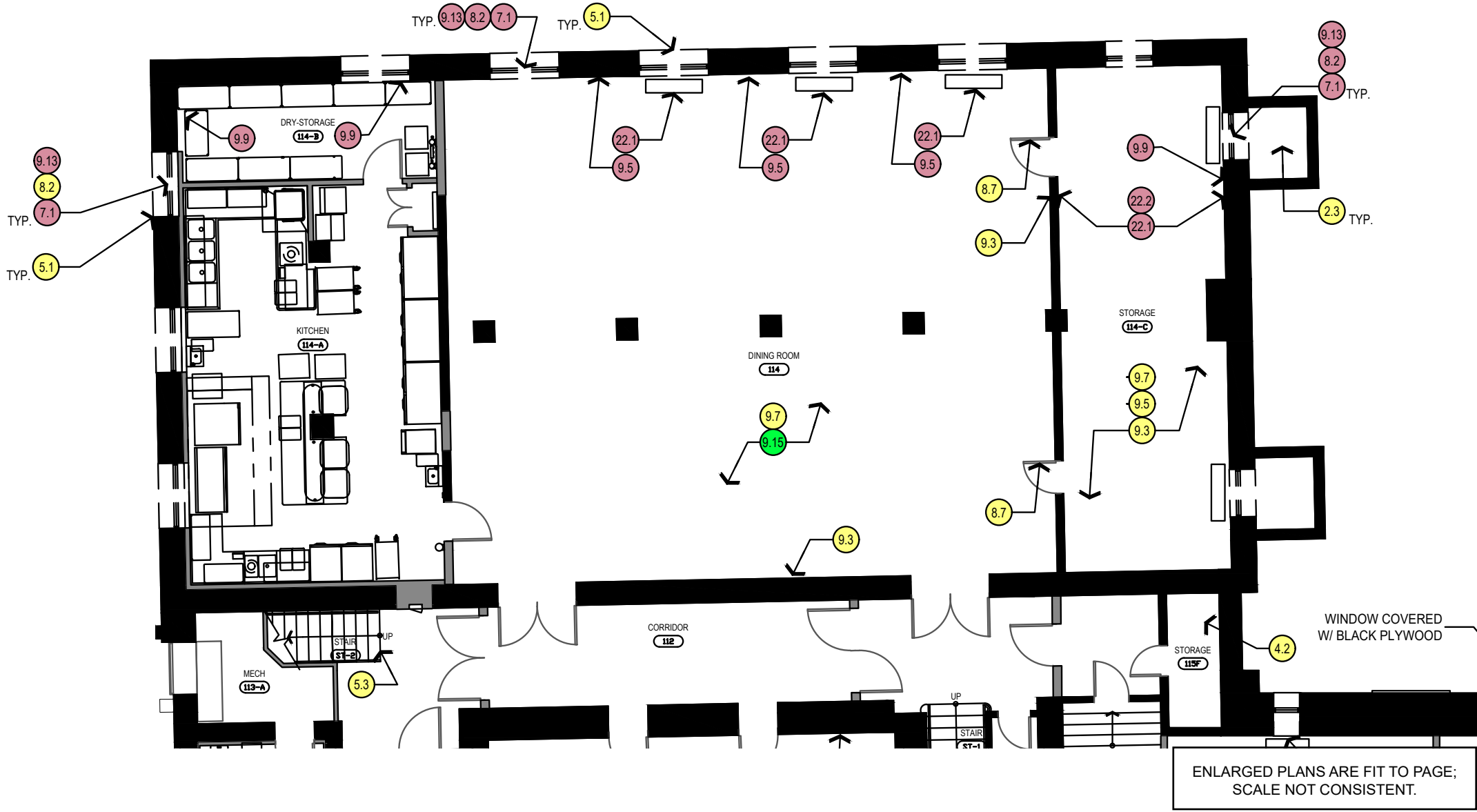
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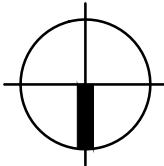
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● Stair 2 [1.11]

Treads are damaged. Repair/replace as required.



● Dining Room - 114
[1.12]



Cold water pipes within the heating units appear to be causing condensation and leaking. This appears to be causing the wood bases that are supporting the units to rot.



Cracked wall. Patch/repair as required.



Interior wood doors require repair.



Scuffs on walls and columns in multiple locations. Repair/paint as required.

● Kitchen Storage -
114-B [1.13]



Evidence of water infiltration at multiple locations on the ceilings and walls.



● Storage - 114-C
[1.14]



Window frame deteriorating - needs replacement. Window sill needs paint. Walls need patch, repair, and paint.



Evidence of water infiltration on pipe insulation and wall.

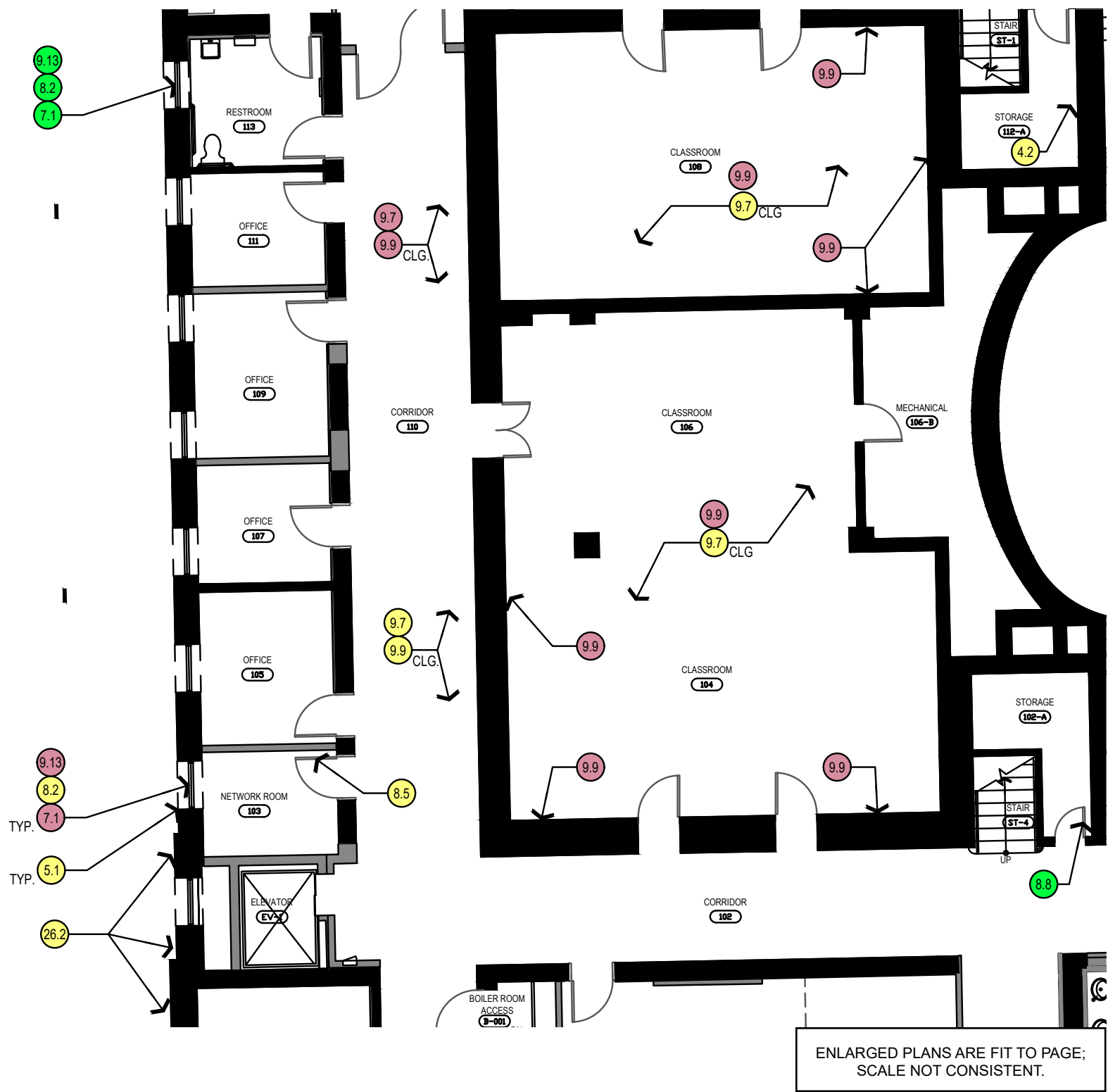


Window sill needs paint, window frame showing signs of deterioration - may need replacement.



Wood door needs paint; walls chipped and need to be repaired and repainted.

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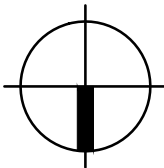
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• Classrooms 104/106
& 108 [1.5]

- Evidence of water infiltration at multiple locations. Courtyard is located above this space. Concrete and rebar above may also be affected. Further investigation is required to locate the cause and to understand the full extent of damage. Waterproofing documents should also be reviewed including detailing, warranty coverage and reports for testing completed to confirm performance. Refer to images below.



• Stair 4 [1.6]



Evidence of water damage/mold on ceiling tile. Inspect above ceiling to locate source and repair. Replace ceiling tile.

• Office 101 [1.7]

Repair/paint window and frame as required.



● Network Room 103
[1.8]

Door has significant damage on latch side. Repair/replace door as required.



● Office 109 [1.9]

Repair/paint sill and frame as required.

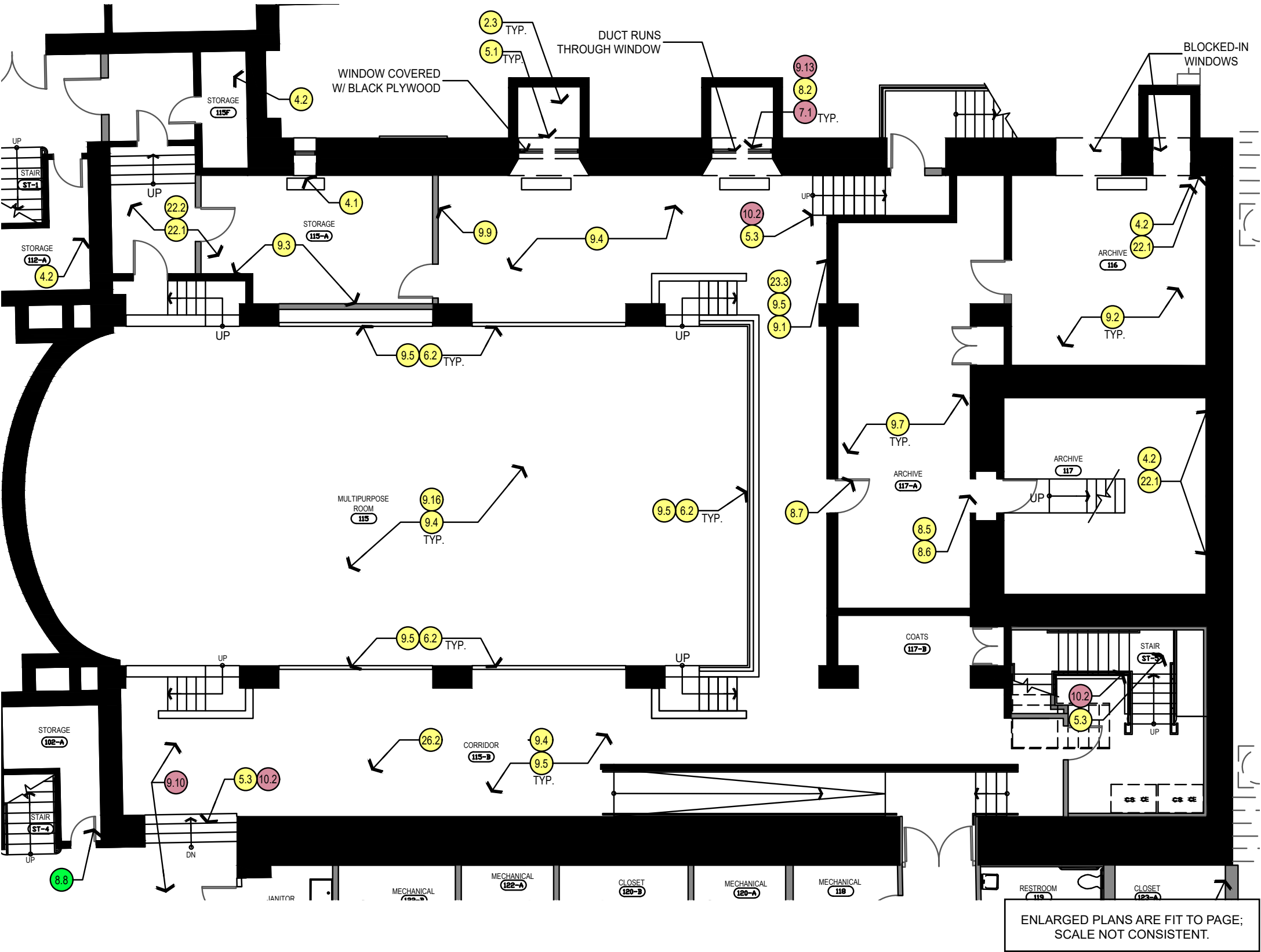


● Corridor 110 [1.10]

- Evidence of water infiltration on ceiling and wall that is shared with Classrooms 104/106 and 108. Refer to image below.



LOWER LEVEL - 3



ENLARGED PLANS ARE FIT TO PAGE;
SCALE NOT CONSISTENT.

- 2. SITE**

 - 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
 - 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
 - 2.3 BELOW GRATES NEEDS CLEANING
 - 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
 - 3.1 NEEDS REPAIR
 - 3.2 CAST STONE NEEDS REPAIR
 - 3.3 CAST STONE NEEDS CLEANING
 - 3.4 STANDING WATER IN WINDOW WELLS
 - 3.5 CONCRETE NEEDS CLEANING
 - 3.6 STANDING WATER ON CAST STONE STEPS
 - 3.7 EFFLORESCENCE ON CAST STONE; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.

4. MASONRY

 - 4.1 EVIDENCE OF WATER DAMAGE; INVESTIGATE; REPAIR.
 - 4.2 EVIDENCE OF WATER INFILTRATION/ EFFLORESCENCE; INVESTIGATE; REPAIR
 - 4.3 MASONRY CRACKING
 - 4.4 CONC DAMAGE, EXPOSED REBAR
 - 4.5 PATCH/REPAIR CMU
 - 4.6 PT CMU
 - 4.7 CLEAN MASONRY

5. METALS

 - 5.1 RAILING POSTS NEED REPAIR
 - 5.2 MTL LOUVER RUSTED
 - 5.3 REPAIR/REPAINT MTL STAIRS/LAND
 - 5.4 MTL GRATE OVER WELL NEEDS REPAIR
 - 5.5 UNUSED
 - 5.6 MTL FLASHING NEEDS TO BE REPAIRED/REPLACED

6. WOOD AND PLASTICS

 - 6.1 WD LOUVER NEEDS REPAIR
 - 6.2 WD PANELING NEEDS REPAIR
 - 6.3 WD COLUMNS CHIPPED OR CRACKED, NEEDS REPAIR
 - 6.4 WD STAIRS NEEDS REPAIR

7. THERMAL AND MOISTURE PROTECTION

 - 7.1 WEATHER- STRIPPING NEEDS REPAIR OR IS MISSING

8. DOORS AND WINDOWS

 - 8.1 EXT MTL FRAME & DOOR NEEDS TO BE REPAIRED/REPLACED
 - 8.2 RESTORE DETERIORATING WDW/FR/SASH/SILL
 - 8.3 RESTORE DETERIORATING EXT WD DOOR
 - 8.4 GLASS CRACKED. NEEDS REPAIR
 - 8.5 INT HM DOOR NEEDS REPAIR
 - 8.6 WATER MARK ON SKYLIGHT
 - 8.7 INT WD DR NEEDS REPAIR
 - 8.8 INT WD DR NEEDS PAINT
 - 8.9 INT WD DR FRAME NEEDS REPAIR

9. FINISHES

 - 9.1 PATCH/REPAIR GWB/PLASTER HOLES
 - 9.2 TERRA COTTA /EXPOSED CLAY NEEDS PATCHING/REPAIR
 - 9.3 WALL CRACKED: PATCH/REPAIR
 - 9.4 REPAIR FLOORING
 - 9.5 REPAIR BASE
 - 9.6 EVIDENCE OF ANT INFESTATION; IDENTIFY POINT OF ENTRY AND REPAIR.
 - 9.7 REPAIR/REPLACE ACT
 - 9.8 PT PEWS
 - 9.9 EVIDENCE OF WATER INFILTRATION; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.
 - 9.10 EVIDENCE OF CONDENSATE DAMAGE; INVESTIGATION AND REPAIR NEEDED.
 - 9.11 PT WALLS, REPAIR
 - 9.12 PT TRIM, REPAIR
 - 9.13 SCRAPE/PRIME/PAINT WDW FRAME/SASH/SILL
 - 9.14 PT COLUMNS
 - 9.15 SCUFFS ON WALLS, NEEDS PAINT
 - 9.16 FLOOR SCRATCHED, SCUFFED, NEEDS REFINISHING /CLEANING
 - 9.17 UNUSED
 - 9.18 PT RADIATORS
 - 9.19 REFINISH WOOD FLOORING
 - 9.20 PT STEPS
 - 9.21 CRACK IN CLG/CLG DELAMINATING/PLASTER HOLES
 - 9.22 PAINT CLG

10. SPECIALTIES

 - 10.1 RESTROOM DOES NOT MEET ACCESSIBILITY REQ.
 - 10.2 RAILING DOES NOT MEET ACCESSIBILITY REQ.
 - 10.3 PAVERS DO NOT MEET ACCESSIBILITY REQ.
 - 10.4 HDWR DO NOT MEET ACCESSIBILITY REQ. NEEDS REPAIR/REPLACE

22. PLUMBING

 - 22.1 PLUMBING EQUIPMENT/PIPING LEAKING; WATER DAMAGE ON SURROUNDING AREAS.
 - 22.2 PIPE INSULATION IS MISSING OR NEEDS REPAIR.
 - 22.3 PIPE RUSTING, NEED REPAIR/REPLACE
 - 22.4 METER RUSTED, NEEDS REPAIR/REPLACE
 - 22.5 PIPING EXPOSED; SURROUNDING AREAS NEED REPAIR.
 - 22.6 EVIDENCE OF WATER INFILTRATION, SOURCE UNKNOWN; DAMAGE TO PIPE INSUL.

23. HVAC

 - 23.1 HVAC UNIT NOT LEVEL
 - 23.2 HVAC UNIT NEEDS REPAIR/ REPLACEMENT
 - 23.3 OPEN DUCTWORK, REPAIR

26. ELECTRICAL

 - 26.1 EXT LIGHT FIXTURE NEEDS REPAIR
 - 26.2 EXPOSED WIRING
 - 26.3 INT LIGHT FIXTURE NEEDS REPAIR
 - 26.4 UNUSED
 - 26.5 OUTLET MISSING COVER

LEGEND

 - GOOD CONDITION: NO REPAIR REQD. AND/ OR AT BEGINNING OF USEFUL LIFE
 - MODERATE CONDITION: MINOR REPAIR REQD. AND/ OR MIDWAY THRU USEFUL LIFE
 - SERIOUS CONDITION: BEYOND THE END OF ITS USEFUL LIFE

● Multipurpose Room -
115 [1.15]



Wood floor is scratched and scuffed. Floor requires refinishing/cleaning.



Stair treads in Corridor 115-B are damaged. Repair as required.



Evidence of water infiltration in ceiling at multiple locations. Investigate above ceilings for cause. Repair/replace ceiling as required.



Stair, walls and wall base require repairs and painting.



Repair walls around penetrations and paint.

● Storage - 115-A
[1.16]



Hole in drywall requires patching.



Unfinished construction in multiple locations.



Evidence of water infiltration on pipes and pipe insulation. Investigate for source of leak. Repair leak and replace pipe insulation.



Evidence of water infiltration on walls.

● Storage - 115-F [1.17]



Evidence of water infiltration on masonry walls. Pipe appears to have been previously exposed for maintenance.

● Archive - 116 [1.18]

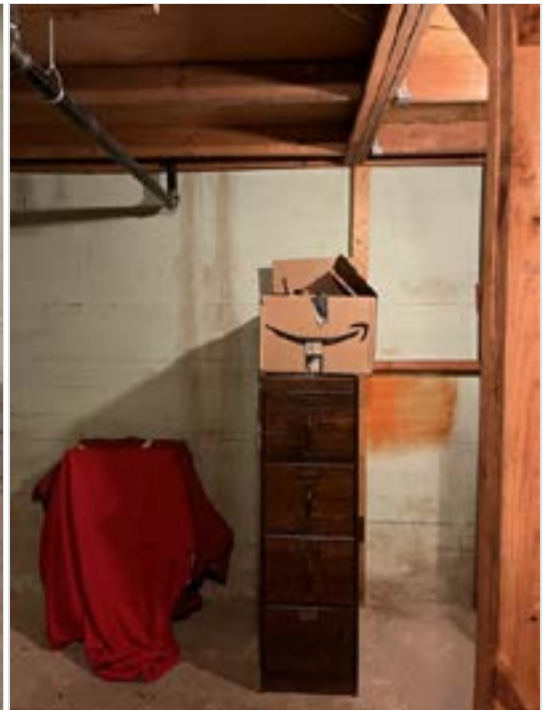


Evidence of water infiltration on masonry wall.

● Archive - 117 [1.19]



Wear and tear on piping insulation; typical.



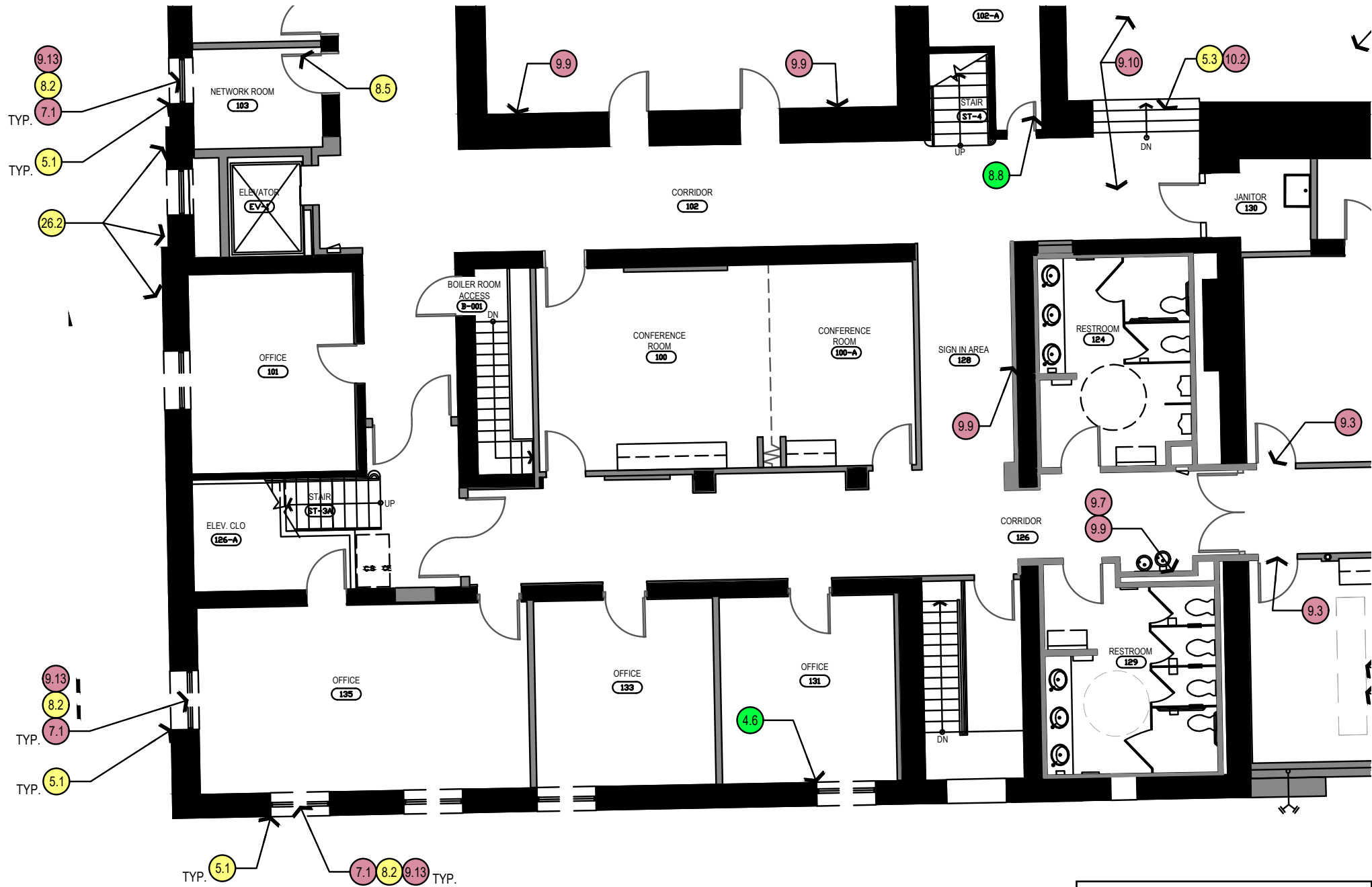
Wall showing evidence of water infiltration in multiple locations.

● Archive - 117-A
[1.20]



Ceiling tiles need replacement.

LOWER LEVEL - 4



2. SITE

- 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
- 2.3 BELOW GRATES NEEDS CLEANING
- 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
- 3.1 NEEDS REPAIR
- 3.2 CAST STONE NEEDS REPAIR
- 3.3 CAST STONE NEEDS CLEANING
- 3.4 STANDING WATER IN WINDOW WELLS
- 3.5 CONCRETE NEEDS CLEANING
- 3.6 STANDING WATER ON CAST STONE STEPS
- 3.7 EFFLORESCENCE ON CAST STONE; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.

4. MASONRY

- 4.1 EVIDENCE OF WATER DAMAGE; INVESTIGATE; REPAIR.
- 4.2 EVIDENCE OF WATER INFILTRATION/ EFFLORESCENCE; INVESTIGATE; REPAIR
- 4.3 MASONRY CRACKING
- 4.4 CONC DAMAGE, EXPOSED REBAR
- 4.5 PATCH/REPAIR CMU
- 4.6 PT CMU
- 4.7 CLEAN MASONRY

5. METALS

- 5.1 RAILING POSTS NEED REPAIR
- 5.2 MTL LOUVER RUSTED
- 5.3 REPAIR/REPAINT MTL STAIRS/LAND
- 5.4 MTL GRATE OVER WELL NEEDS REPAIR
- 5.5 UNUSED
- 5.6 MTL FLASHING NEEDS TO BE REPAIRED/REPLACED

6. WOOD AND PLASTICS

- 6.1 WD LOUVER NEEDS REPAIR
- 6.2 WD PANELING NEEDS REPAIR
- 6.3 WD COLUMNS CHIPPED OR CRACKED, NEEDS REPAIR
- 6.4 WD STAIRS NEEDS REPAIR

7. THERMAL AND MOISTURE PROTECTION

- 7.1 WEATHER- STRIPPING NEEDS REPAIR OR IS MISSING

8. DOORS AND WINDOWS

- 8.1 EXT MTL FRAME & DOOR NEEDS TO BE REPAIRED/REPLACED
- 8.2 RESTORE DETERIORATING WDW/FR/SASH/SILL
- 8.3 RESTORE DETERIORATING EXT WD DOOR
- 8.4 GLASS CRACKED. NEEDS REPAIR
- 8.5 INT HM DOOR NEEDS REPAIR
- 8.6 WATER MARK ON SKYLIGHT
- 8.7 INT WD DR NEEDS REPAIR
- 8.8 INT WD DR NEEDS PAINT
- 8.9 INT WD DR FRAME NEEDS REPAIR

9. FINISHES

- 9.1 PATCH/REPAIR GWB/PLASTER HOLES
- 9.2 TERRA COTTA /EXPOSED CLAY NEEDS PATCHING/REPAIR
- 9.3 WALL CRACKED: PATCH/REPAIR
- 9.4 REPAIR FLOORING
- 9.5 REPAIR BASE
- 9.6 EVIDENCE OF ANT INFESTATION; IDENTIFY POINT OF ENTRY AND REPAIR.
- 9.7 REPAIR/REPLACE ACT
- 9.8 PT PEWS
- 9.9 EVIDENCE OF WATER INFILTRATION; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.
- 9.10 EVIDENCE OF CONDENSATE DAMAGE; INVESTIGATION AND REPAIR NEEDED.
- 9.11 PT WALLS, REPAIR
- 9.12 PT TRIM, REPAIR
- 9.13 SCRAPE/PRIME/PAINT WDW FRAME/SASH/SILL
- 9.14 PT COLUMNS
- 9.15 SCUFFS ON WALLS, NEEDS PAINT
- 9.16 FLOOR SCRATCHED, SCUFFED, NEEDS REFINISHING /CLEANING
- 9.17 UNUSED
- 9.18 PT RADIATORS
- 9.19 REFINISH WOOD FLOORING
- 9.20 PT STEPS
- 9.21 CRACK IN CLG/CLG DELAMINATING/PLASTER HOLES
- 9.22 PAINT CLG

10. SPECIALTIES

- 10.1 RESTROOM DOES NOT MEET ACCESSIBILITY REQ.
- 10.2 RAILING DOES NOT MEET ACCESSIBILITY REQ.
- 10.3 PAVERS DO NOT MEET ACCESSIBILITY REQ.
- 10.4 HDWR DO NOT MEET ACCESSIBILITY REQ. NEEDS REPAIR/REPLACE

22. PLUMBING

- 22.1 PLUMBING EQUIPMENT/PIPING LEAKING; WATER DAMAGE ON SURROUNDING AREAS.
- 22.2 PIPE INSULATION IS MISSING OR NEEDS REPAIR.
- 22.3 PIPE RUSTING, NEED REPAIR/REPLACE
- 22.4 METER RUSTED, NEEDS REPAIR/REPLACE
- 22.5 PIPING EXPOSED; SURROUNDING AREAS NEED REPAIR.
- 22.6 EVIDENCE OF WATER INFILTRATION, SOURCE UNKNOWN; DAMAGE TO PIPE INSUL.

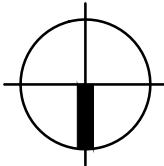
23. HVAC

- 23.1 HVAC UNIT NOT LEVEL
- 23.2 HVAC UNIT NEEDS REPAIR/ REPLACEMENT
- 23.3 OPEN DUCTWORK, REPAIR

26. ELECTRICAL

- 26.1 EXT LIGHT FIXTURE NEEDS REPAIR
- 26.2 EXPOSED WIRING
- 26.3 INT LIGHT FIXTURE NEEDS REPAIR
- 26.4 UNUSED
- 26.5 OUTLET MISSING COVER

LEGEND



- GOOD CONDITION: NO REPAIR REQD. AND/ OR AT BEGINNING OF USEFUL LIFE
- MODERATE CONDITION: MINOR REPAIR REQD. AND/ OR MIDWAY THRU USEFUL LIFE
- SERIOUS CONDITION: BEYOND THE END OF ITS USEFUL LIFE

● Corridor 126 [1.23]

- Water damage observed at multiple locations of ceiling tile.
- Source of water should be investigate and repaired. Ceilings tiles to be replaced/repaired as required.

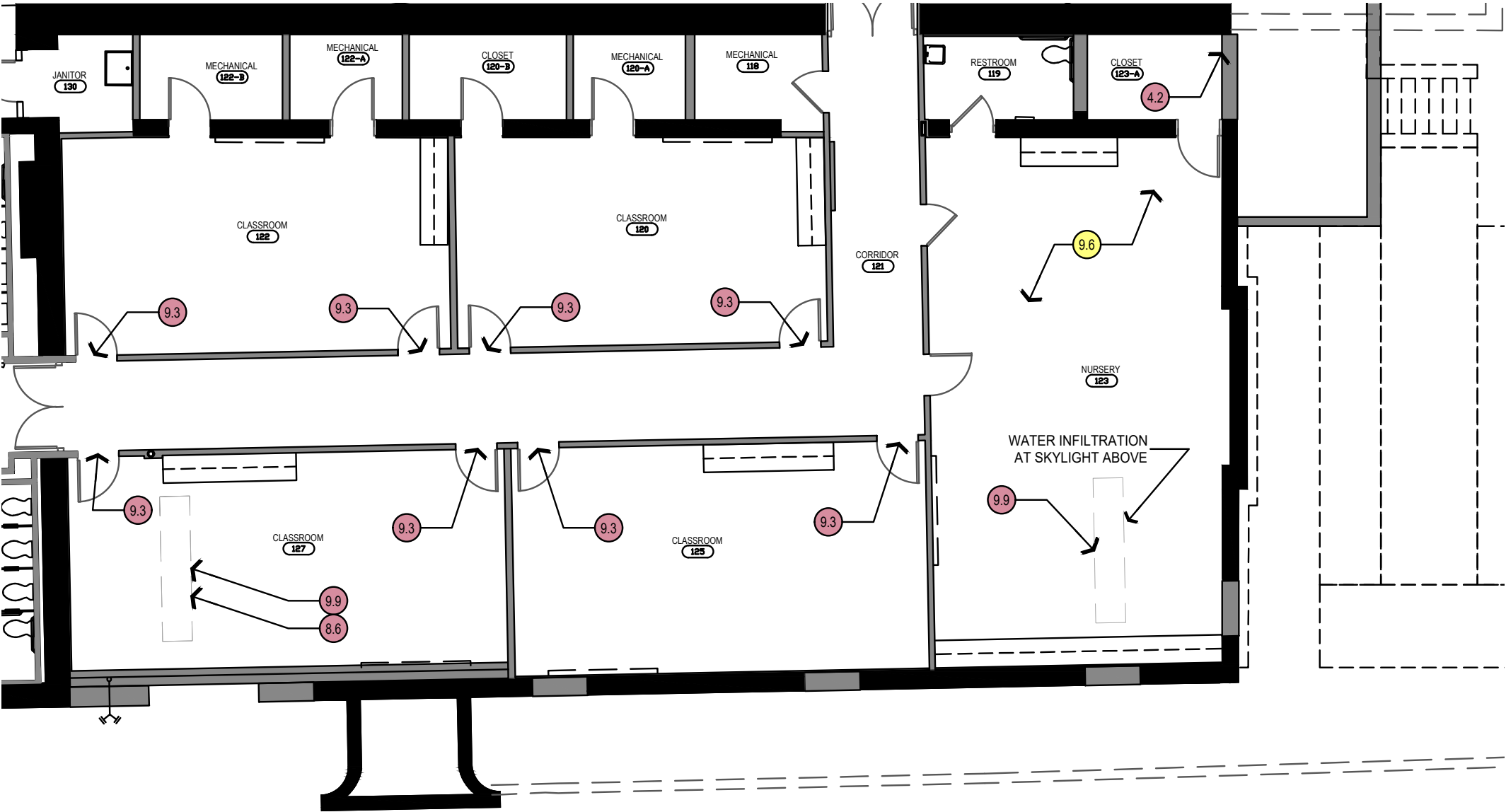


● Office - 131 [1.25]

- Window sill and frame require paint/repair.



LOWER LEVEL - 5



ENLARGED PLANS ARE FIT TO PAGE;
SCALE NOT CONSISTENT.

2. SITE

- 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
- 2.3 BELOW GRATES NEEDS CLEANING
- 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
- 3.1 NEEDS REPAIR
- 3.2 CAST STONE NEEDS REPAIR
- 3.3 CAST STONE NEEDS CLEANING
- 3.4 STANDING WATER IN WINDOW WELLS
- 3.5 CONCRETE NEEDS CLEANING
- 3.6 STANDING WATER ON CAST STONE STEPS
- 3.7 EFFLORESCENCE ON CAST STONE; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.

4. MASONRY

- 4.1 EVIDENCE OF WATER DAMAGE; INVESTIGATE; REPAIR.
- 4.2 EVIDENCE OF WATER INFILTRATION/ EFFLORESCENCE; INVESTIGATE; REPAIR
- 4.3 MASONRY CRACKING
- 4.4 CONC DAMAGE, EXPOSED REBAR
- 4.5 PATCH/REPAIR CMU
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5. METALS

- 5.1 RAILING POSTS NEED REPAIR
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7. THERMAL AND MOISTURE PROTECTION

- 7.1 WEATHER- STRIPPING NEEDS REPAIR OR IS MISSING

8. DOORS AND WINDOWS

- 8.1 EXT MTL FRAME & DOOR NEEDS TO BE REPAIRED/REPLACED
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- 8.3 RESTORE DETERIORATING EXT WD DOOR
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- 8.5 INT HM DOOR NEEDS REPAIR
- 8.6 WATER MARK ON SKYLIGHT
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- 8.8 INT WD DR NEEDS PAINT
- 8.9 INT WD DR FRAME NEEDS REPAIR

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- 9.1 PATCH/REPAIR GWB/PLASTER HOLES
- 9.2 TERRA COTTA /EXPOSED CLAY NEEDS PATCHING/REPAIR
- 9.3 WALL CRACKED: PATCH/REPAIR
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22. PLUMBING

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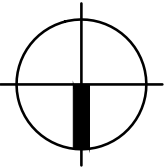
23. HVAC

- 23.1 HVAC UNIT NOT LEVEL
- 23.2 HVAC UNIT NEEDS REPAIR/ REPLACEMENT
- 23.3 OPEN DUCTWORK, REPAIR

26. ELECTRICAL

- 26.1 EXT LIGHT FIXTURE NEEDS REPAIR
- 26.2 EXPOSED WIRING
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LEGEND



- GOOD CONDITION: NO REPAIR REQD. AND/ OR AT BEGINNING OF USEFUL LIFE
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● Classroom -
123/123A [1.21]

- Evidence of water infiltration at North skylight and corner of storage closet 123A.
 - Source of leak at the closet requires further investigation to determine location/source. There is also evidence of concrete deterioration at beam in closet. Deterioration appears to predate 2015 repairs.
 - Leak at skylight is located below electrical penetrations and appears to be limited at this location.
 - Both locations require water penetration testing and localized excavation to identify sources of water infiltration. Skylight manufacturer and installer should be engaged to assist with investigation and repair at skylight.
 - Refer to images below.
- Ants are also coming into classroom. Could be coming through penetrations/areas of deteriorated concrete.



North Skylight



Storage 123A



Storage 123A Beam

• Classroom - 127
[1.24]

- Uncontrolled water penetration occurs at skylight. Evidence of staining on plexiglass panel below skylight.
- Water penetration testing required to determine source.



• Classroom -125 [1.22]

- Both classroom entry doors have cracks in drywall below HVAC penetrations. Walls should be repaired as required. Additional bracing may be required between studs.



MAIN LEVEL



2. SITE

- 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
- 2.3 BELOW GRATES NEEDS CLEANING
- 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
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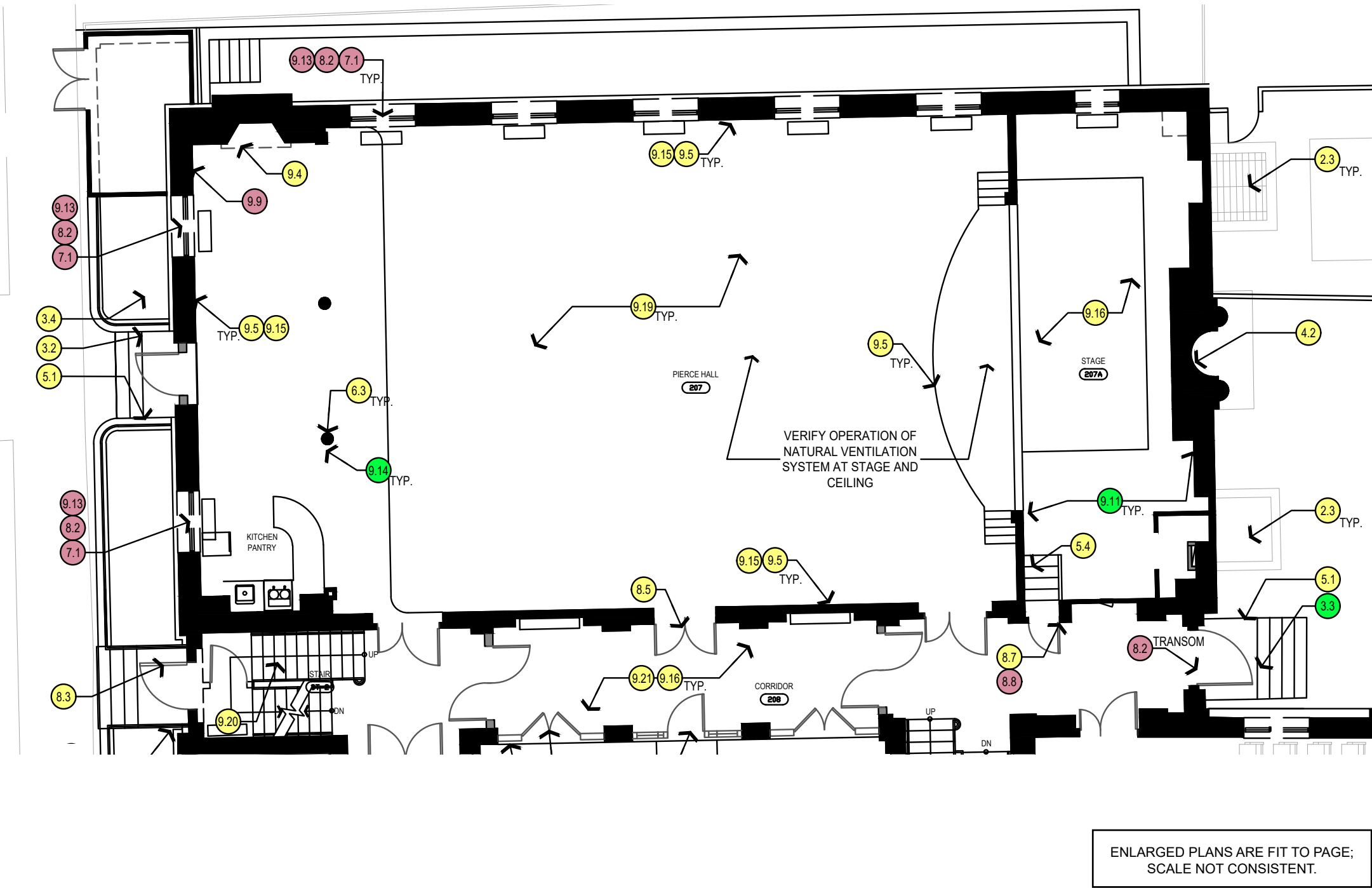
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LEGEND

- GOOD CONDITION: NO REPAIR REQD. AND/ OR AT BEGINNING OF USEFUL LIFE
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MAIN LEVEL-1



2. SITE

- (2.1) SITE STONE PAVERS NEED CLEANING & REPAIR
- (2.2) FLEXIBLE PAVERS NEED REPLACEMENT
- (2.3) BELOW GRATES NEEDS CLEANING
- (2.4) EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
- (3.1) NEEDS REPAIR
- (3.2) CAST STONE NEEDS REPAIR
- (3.3) CAST STONE NEEDS CLEANING
- (3.4) STANDING WATER IN WINDOW WELLS
- (3.5) CONCRETE NEEDS CLEANING
- (3.6) STANDING WATER ON CAST STONE STEPS
- (3.7) EFFLORESCENCE ON CAST STONE; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.

4. MASONRY

- (4.1) EVIDENCE OF WATER DAMAGE; INVESTIGATE; REPAIR.
- (4.2) EVIDENCE OF WATER INFILTRATION/ EFFLORESCENCE; INVESTIGATE; REPAIR
- (4.3) MASONRY CRACKING
- (4.4) CONC DAMAGE, EXPOSED REBAR
- (4.5) PATCH/REPAIR CMU
- (4.6) PT CMU
- (4.7) CLEAN MASONRY

5. METALS

- (5.1) RAILING POSTS NEED REPAIR
- (5.2) MTL LOUVER RUSTED
- (5.3) REPAIR/REPAINT MTL STAIRS/LAND
- (5.4) MTL GRATE OVER WELL NEEDS REPAIR
- (5.5) UNUSED
- (5.6) MTL FLASHING NEEDS TO BE REPAIRED/REPLACED

6. WOOD AND PLASTICS

- (6.1) WD LOUVER NEEDS REPAIR
- (6.2) WD PANELING NEEDS REPAIR
- (6.3) WD COLUMNS CHIPPED OR CRACKED, NEEDS REPAIR
- (6.4) WD STAIRS NEEDS REPAIR

7. THERMAL AND MOISTURE PROTECTION

- (7.1) WEATHER- STRIPPING NEEDS REPAIR OR IS MISSING

8. DOORS AND WINDOWS

- (8.1) EXT MTL FRAME & DOOR NEEDS TO BE REPAIRED/REPLACED
- (8.2) RESTORE DETERIORATING WDW/FR/SASH/SILL
- (8.3) RESTORE DETERIORATING EXT WD DOOR
- (8.4) GLASS CRACKED. NEEDS REPAIR
- (8.5) INT HM DOOR NEEDS REPAIR
- (8.6) WATER MARK ON SKYLIGHT
- (8.7) INT WD DR NEEDS REPAIR
- (8.8) INT WD DR NEEDS PAINT
- (8.9) INT WD DR FRAME NEEDS REPAIR

9. FINISHES

- (9.1) PATCH/REPAIR GWB/PLASTER HOLES
- (9.2) TERRA COTTA /EXPOSED CLAY NEEDS PATCHING/REPAIR
- (9.3) WALL CRACKED: PATCH/REPAIR
- (9.4) REPAIR FLOORING
- (9.5) REPAIR BASE
- (9.6) EVIDENCE OF ANT INFESTATION; IDENTIFY POINT OF ENTRY AND REPAIR.
- (9.7) REPAIR/REPLACE ACT
- (9.8) PT PEWS
- (9.9) EVIDENCE OF WATER INFILTRATION; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.
- (9.10) EVIDENCE OF CONDENSATE DAMAGE; INVESTIGATION AND REPAIR NEEDED.
- (9.11) PT WALLS, REPAIR
- (9.12) PT TRIM, REPAIR
- (9.13) SCRAPE/PRIME/PAINT WDW FRAME/SASH/SILL
- (9.14) PT COLUMNS
- (9.15) SCUFFS ON WALLS, NEEDS PAINT
- (9.16) FLOOR SCRATCHED, SCUFFED, NEEDS REFINISHING /CLEANING
- (9.17) UNUSED
- (9.18) PT RADIATORS
- (9.19) REFINISH WOOD FLOORING
- (9.20) PT STEPS
- (9.21) CRACK IN CLG/CLG DELAMINATING/PLASTER HOLES
- (9.22) PAINT CLG

10. SPECIALTIES

- (10.1) RESTROOM DOES NOT MEET ACCESSIBILITY REQ.
- (10.2) RAILING DOES NOT MEET ACCESSIBILITY REQ.
- (10.3) PAVERS DO NOT MEET ACCESSIBILITY REQ.
- (10.4) HDWR DO NOT MEET ACCESSIBILITY REQ. NEEDS REPAIR/REPLACE

22. PLUMBING

- (22.1) PLUMBING EQUIPMENT/PIPING LEAKING; WATER DAMAGE ON SURROUNDING AREAS.
- (22.2) PIPE INSULATION IS MISSING OR NEEDS REPAIR.
- (22.3) PIPE RUSTING, NEED REPAIR/REPLACE
- (22.4) METER RUSTED, NEEDS REPAIR/REPLACE
- (22.5) PIPING EXPOSED; SURROUNDING AREAS NEED REPAIR.
- (22.6) EVIDENCE OF WATER INFILTRATION, SOURCE UNKNOWN; DAMAGE TO PIPE INSUL.

23. HVAC

- (23.1) HVAC UNIT NOT LEVEL
- (23.2) HVAC UNIT NEEDS REPAIR/ REPLACEMENT
- (23.3) OPEN DUCTWORK, REPAIR

26. ELECTRICAL

- (26.1) EXT LIGHT FIXTURE NEEDS REPAIR
- (26.2) EXPOSED WIRING
- (26.3) INT LIGHT FIXTURE NEEDS REPAIR
- (26.4) UNUSED
- (26.5) OUTLET MISSING COVER

LEGEND

- GOOD CONDITION: NO REPAIR REQD. AND/ OR AT BEGINNING OF USEFUL LIFE
- MODERATE CONDITION: MINOR REPAIR REQD. AND/ OR MIDWAY THRU USEFUL LIFE
- SERIOUS CONDITION: BEYOND THE END OF ITS USEFUL LIFE

● Pierce Hall - 207
[1.32]

- Signs of water damage and paint peeling/chipping in multiple locations of walls and ceiling. Further investigation required to determine source. Roof assembly and gutter above should be investigated.
- Columns require painting.
- Scuffs and scratches on floor, typical. Buff/refinish as required.
- Paint on decorative wood paneling chipping, typical. Repaint as required.
- Windows have same issues as 2011. Paint is chipping and no weather seals provided at all windows. Repaint windows and provide weather stripping.



Evidence of water damage.



Areas of water damage appear to be painted over.



Water damage.



Paint blistering and peeling.

● Pierce Hall - 207
[1.32]



Paint chipping, typical.



Paint wear on columns.



Floor scuffed and scratched.



Window requires repainting and weather seals.

● Exterior (Playground)
[1.62]

- Water damage on exterior trim, cornice, and baluster.
- Transom above door needs replacement.
- railings rusting
- Caulk being used where mortar is missing in the pilaster base.
- Cornice over sanctuary in good condition but has some water damage that should be removed through cleaning.
- Cornice over Pierce Hall (south east portion of the building) has more severe water damage; the metal portion of the cornice is rusting and not fully intact.



Transom needs to be replaced.

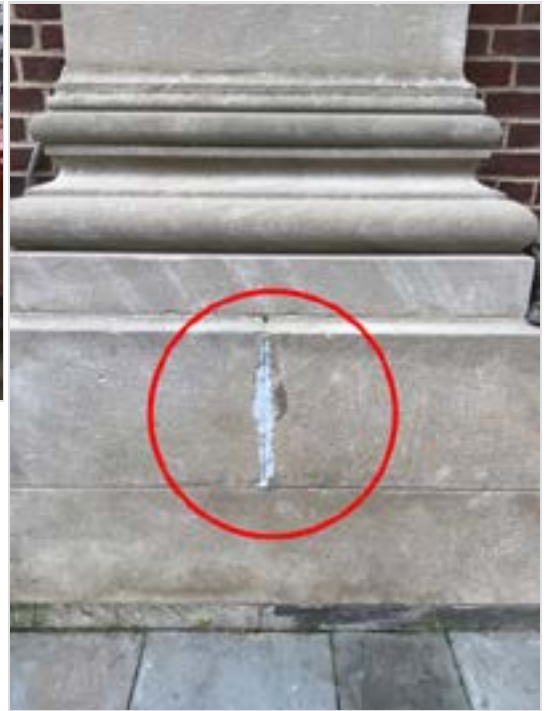


Railing rusting / evidence of water infiltration and damage; investigate and repair.

• Exterior (Playground)
[1.62]



Cornice (pierce hall side)



Cast stone joint needs mortar. Evidence of water infiltration and damage; investigate and repair.

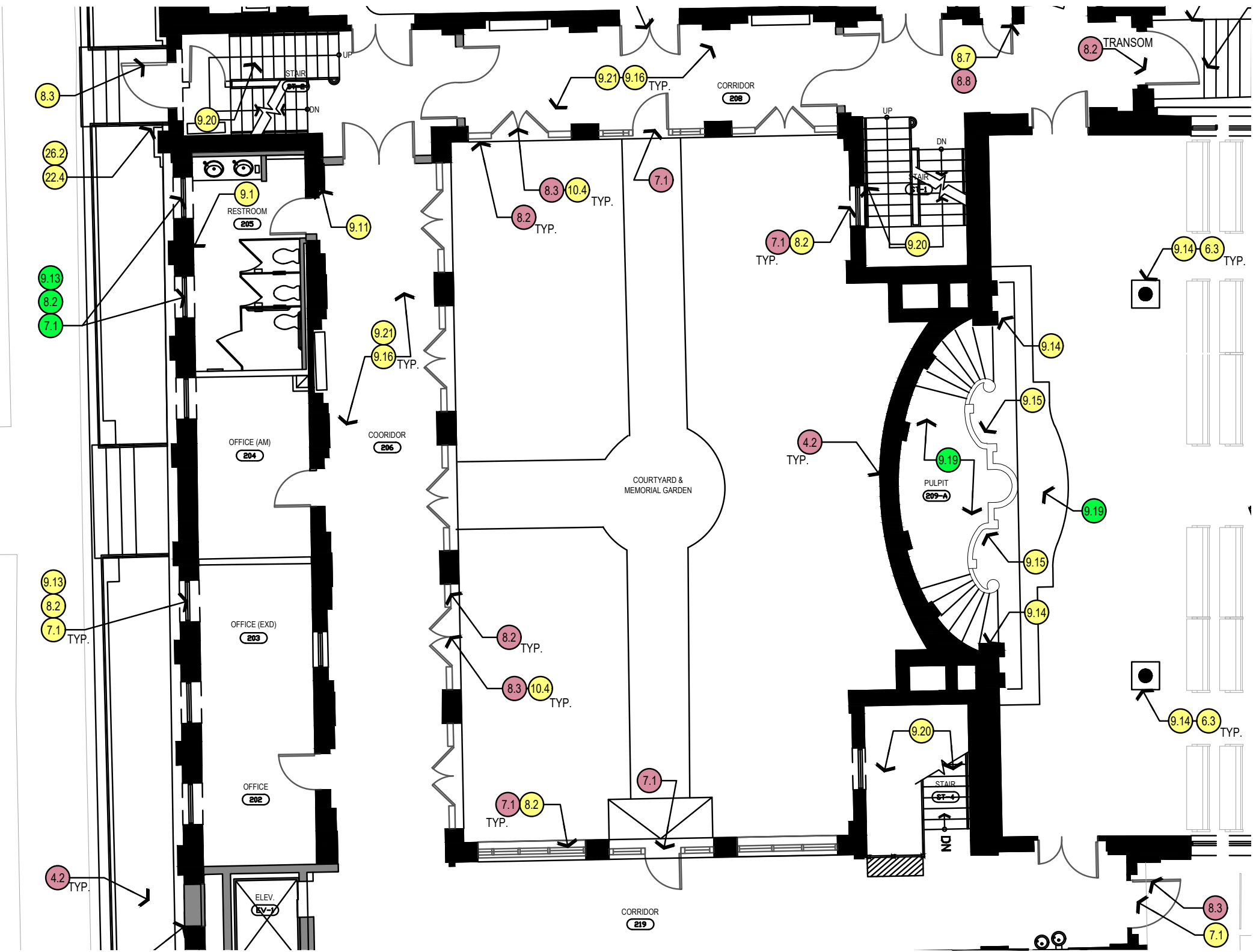


Cornice (sanctuary side)



Railing rusting

MAIN LEVEL-2



ENLARGED PLANS ARE FIT TO PAGE;
SCALE NOT CONSISTENT.

2. SITE

- 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
- 2.3 BELOW GRATES NEEDS CLEANING
- 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR.
- 3.1 CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
- 3.2 CAST STONE NEEDS REPAIR
- 3.3 CAST STONE NEEDS CLEANING
- 3.4 STANDING WATER IN WINDOW WELLS
- 3.5 CONCRETE NEEDS CLEANING
- 3.6 STANDING WATER ON CAST STONE STEPS
- 3.7 EFFLORESCENCE ON CAST STONE; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.

4. MASONRY

- 4.1 EVIDENCE OF WATER DAMAGE; INVESTIGATE; REPAIR.
- 4.2 EVIDENCE OF WATER INFILTRATION/ EFFLORESCENCE; INVESTIGATE; REPAIR
- 4.3 MASONRY CRACKING
- 4.4 CONC DAMAGE, EXPOSED REBAR
- 4.5 PATCH/REPAIR CMU
- 4.6 PT CMU
- 4.7 CLEAN MASONRY

5. METALS

- 5.1 RAILING POSTS NEED REPAIR
- 5.2 MTL LOUVER RUSTED
- 5.3 REPAIR/REPAINT MTL STAIRS/LAND
- 5.4 MTL GRATE OVER WELL NEEDS REPAIR
- 5.5 UNUSED
- 5.6 MTL FLASHING NEEDS TO BE REPAIRED/REPLACED

6. WOOD AND PLASTICS

- 6.1 WD LOUVER NEEDS REPAIR
- 6.2 WD PANELING NEEDS REPAIR
- 6.3 WD COLUMNS CHIPPED OR CRACKED, NEEDS REPAIR
- 6.4 WD STAIRS NEEDS REPAIR

7. THERMAL AND MOISTURE PROTECTION

- 7.1 WEATHER- STRIPPING NEEDS REPAIR OR IS MISSING

8. DOORS AND WINDOWS

- 8.1 EXT MTL FRAME & DOOR NEEDS TO BE REPAIRED/REPLACED
- 8.2 RESTORE DETERIORATING WDW/FR/SASH/SILL
- 8.3 RESTORE DETERIORATING EXT WD DOOR
- 8.4 GLASS CRACKED. NEEDS REPAIR
- 8.5 INT HM DOOR NEEDS REPAIR
- 8.6 WATER MARK ON SKYLIGHT
- 8.7 INT WD DR NEEDS REPAIR
- 8.8 INT WD DR NEEDS PAINT
- 8.9 INT WD DR FRAME NEEDS REPAIR

9. FINISHES

- 9.1 PATCH/REPAIR GWB/PLASTER HOLES
- 9.2 TERRA COTTA /EXPOSED CLAY NEEDS PATCHING/REPAIR
- 9.3 WALL CRACKED: PATCH/REPAIR
- 9.4 REPAIR FLOORING
- 9.5 REPAIR BASE
- 9.6 EVIDENCE OF ANT INFESTATION; IDENTIFY POINT OF ENTRY AND REPAIR.
- 9.7 REPAIR/REPLACE ACT
- 9.8 PT PEWS
- 9.9 EVIDENCE OF WATER INFILTRATION; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.
- 9.10 EVIDENCE OF CONDENSATE DAMAGE; INVESTIGATION AND REPAIR NEEDED.
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- 9.12 PT TRIM, REPAIR
- 9.13 SCRAPE/PRIME/PAINT WDW FRAME/SASH/SILL
- 9.14 PT COLUMNS
- 9.15 SCUFFS ON WALLS, NEEDS PAINT
- 9.16 FLOOR SCRATCHED, SCUFFED, NEEDS REFINISHING /CLEANING
- 9.17 UNUSED
- 9.18 PT RADIATORS
- 9.19 REFINISH WOOD FLOORING
- 9.20 PT STEPS
- 9.21 CRACK IN CLG/CLG DELAMINATING/PLASTER HOLES
- 9.22 PAINT CLG

10. SPECIALTIES

- 10.1 RESTROOM DOES NOT MEET ACCESSIBILITY REQ.
- 10.2 RAILING DOES NOT MEET ACCESSIBILITY REQ.
- 10.3 PAVERS DO NOT MEET ACCESSIBILITY REQ.
- 10.4 HDWR DO NOT MEET ACCESSIBILITY REQ. NEEDS REPAIR/REPLACE

22. PLUMBING

- 22.1 PLUMBING EQUIPMENT/PIPING LEAKING; WATER DAMAGE ON SURROUNDING AREAS.
- 22.2 PIPE INSULATION IS MISSING OR NEEDS REPAIR.
- 22.3 PIPE RUSTING, NEED REPAIR/REPLACE
- 22.4 METER RUSTED, NEEDS REPAIR/REPLACE
- 22.5 PIPING EXPOSED; SURROUNDING AREAS NEED REPAIR.
- 22.6 EVIDENCE OF WATER INFILTRATION, SOURCE UNKNOWN; DAMAGE TO PIPE INSUL.

23. HVAC

- 23.1 HVAC UNIT NOT LEVEL
- 23.2 HVAC UNIT NEEDS REPAIR/ REPLACEMENT
- 23.3 OPEN DUCTWORK, REPAIR

26. ELECTRICAL

- 26.1 EXT LIGHT FIXTURE NEEDS REPAIR
- 26.2 EXPOSED WIRING
- 26.3 INT LIGHT FIXTURE NEEDS REPAIR
- 26.4 UNUSED
- 26.5 OUTLET MISSING COVER

LEGEND

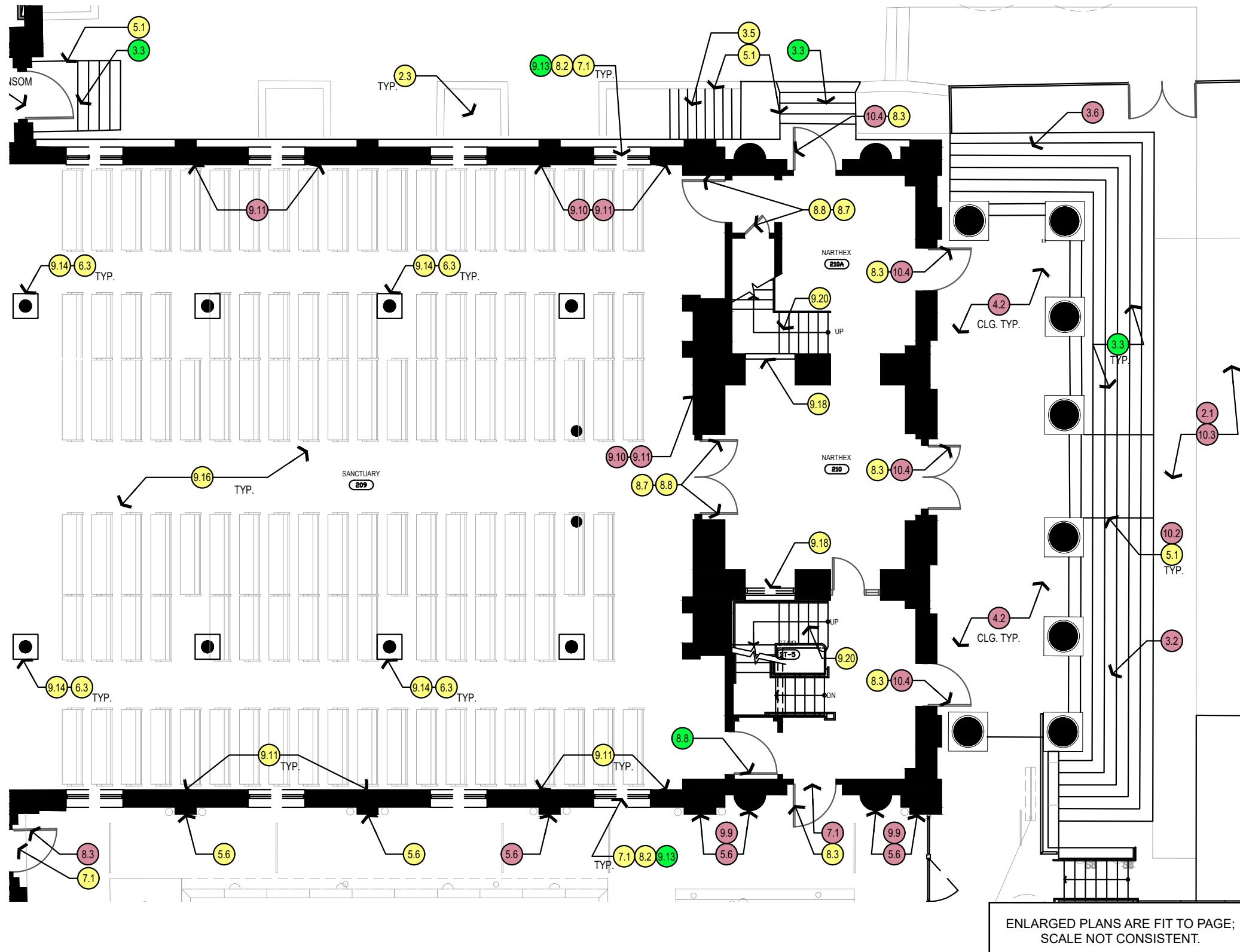
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- SERIOUS CONDITION: BEYOND THE END OF ITS USEFUL LIFE

● Courtyard & memorial garden [1.51]

- Painted wood doors and windows are in various states of decay: paint is either cracking or chipping to expose wood. The exposed wood is likely damaged from water exposure.
- Upper terrace baluster was removed for a 2015 addition to the upper floor; broken pieces remain and should be repaired and replaced.



MAIN LEVEL-3



2. SITE

- 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
- 2.3 BELOW GRATES NEEDS CLEANING
- 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB
- 3.1 NEEDS REPAIR
- 3.2 CAST STONE NEEDS REPAIR
- 3.3 CAST STONE NEEDS CLEANING
- 3.4 STANDING WATER IN WINDOW WELLS
- 3.5 CONCRETE NEEDS CLEANING
- 3.6 STANDING WATER ON CAST STONE STEPS
- 3.7 EFFLORESCENCE ON CAST STONE; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.

4. MASONRY

- 4.1 EVIDENCE OF WATER DAMAGE; INVESTIGATE; REPAIR.
- 4.2 EVIDENCE OF WATER INFILTRATION/ EFFLORESCENCE; INVESTIGATE; REPAIR
- 4.3 MASONRY CRACKING
- 4.4 CONC DAMAGE, EXPOSED REBAR
- 4.5 PATCH/REPAIR CMU
- 4.6 PT CMU
- 4.7 CLEAN MASONRY

5. METALS

- 5.1 RAILING POSTS NEED REPAIR
- 5.2 MTL LOUVER RUSTED
- 5.3 REPAIR/REPAINT MTL STAIRS/LAND
- 5.4 MTL GRATE OVER WELL NEEDS REPAIR
- 5.5 UNUSED
- 5.6 MTL FLASHING NEEDS TO BE REPAIRED/REPLACED

6. WOOD AND PLASTICS

- 6.1 WD LOUVER NEEDS REPAIR
- 6.2 WD PANELING NEEDS REPAIR
- 6.3 WD COLUMNS CHIPPED OR CRACKED, NEEDS REPAIR
- 6.4 WD STAIRS NEEDS REPAIR

7. THERMAL AND MOISTURE PROTECTION

- 7.1 WEATHER- STRIPPING NEEDS REPAIR OR IS MISSING

8. DOORS AND WINDOWS

- 8.1 EXT MTL FRAME & DOOR NEEDS TO BE REPAIRED/REPLACED
- 8.2 RESTORE DETERIORATING WDW/FR/SASH/SILL
- 8.3 RESTORE DETERIORATING EXT WD DOOR
- 8.4 GLASS CRACKED. NEEDS REPAIR
- 8.5 INT HM DOOR NEEDS REPAIR
- 8.6 WATER MARK ON SKYLIGHT
- 8.7 INT WD DR NEEDS REPAIR
- 8.8 INT WD DR NEEDS PAINT
- 8.9 INT WD DR FRAME NEEDS REPAIR

9. FINISHES

- 9.1 PATCH/REPAIR GWB/PLASTER HOLES
- 9.2 TERRA COTTA /EXPOSED CLAY NEEDS PATCHING/REPAIR
- 9.3 WALL CRACKED: PATCH/REPAIR
- 9.4 REPAIR FLOORING
- 9.5 REPAIR BASE
- 9.6 EVIDENCE OF ANT INFESTATION; IDENTIFY POINT OF ENTRY AND REPAIR.
- 9.7 REPAIR/REPLACE ACT
- 9.8 PT PEWS
- 9.9 EVIDENCE OF WATER INFILTRATION; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.
- 9.10 EVIDENCE OF CONDENSATE DAMAGE; INVESTIGATION AND REPAIR NEEDED.
- 9.11 PT WALLS, REPAIR
- 9.12 PT TRIM, REPAIR
- 9.13 SCRAPE/PRIME/PAINT WDW FRAME/SASH/SILL
- 9.14 PT COLUMNS
- 9.15 SCUFFS ON WALLS, NEEDS PAINT
- 9.16 FLOOR SCRATCHED, SCUFFED, NEEDS REFINISHING /CLEANING
- 9.17 UNUSED
- 9.18 PT RADIATORS
- 9.19 REFINISH WOOD FLOORING
- 9.20 PT STEPS
- 9.21 CRACK IN CLG/CLG DELAMINATING/PLASTER HOLES
- 9.22 PAINT CLG

10. SPECIALTIES

- 10.1 RESTROOM DOES NOT MEET ACCESSIBILITY REQ.
- 10.2 RAILING DOES NOT MEET ACCESSIBILITY REQ.
- 10.3 PAVERS DO NOT MEET ACCESSIBILITY REQ.
- 10.4 HDWR DO NOT MEET ACCESSIBILITY REQ.
NEEDS REPAIR/REPLACE




22. PLUMBING

- 22.1 PLUMBING EQUIPMENT/PIPING LEAKING; WATER DAMAGE ON SURROUNDING AREAS.
- 22.2 PIPE INSULATION IS MISSING OR NEEDS REPAIR.
- 22.3 PIPE RUSTING, NEED REPAIR/REPLACE
- 22.4 METER RUSTED, NEEDS REPAIR/REPLACE
- 22.5 PIPING EXPOSED; SURROUNDING AREAS NEED REPAIR.
- 22.6 EVIDENCE OF WATER INFILTRATION, SOURCE UNKNOWN; DAMAGE TO PIPE INSUL.

23. HVAC

- 23.1 HVAC UNIT NOT LEVEL
 - 23.2 HVAC UNIT NEEDS REPAIR/ REPLACEMENT
 - 23.3 OPEN DUCTWORK, REPAIR
26. ELECTRICAL
- 26.1 EXT LIGHT FIXTURE NEEDS REPAIR
 - 26.2 EXPOSED WIRING
 - 26.3 INT LIGHT FIXTURE NEEDS REPAIR
 - 26.4 UNUSED
 - 26.5 OUTLET MISSING COVER

LEGEND

-  GOOD CONDITION:
NO REPAIR REQD. AND/ OR AT
BEGINNING OF USEFUL LIFE
-  MODERATE CONDITION:
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MIDWAY THRU USEFUL LIFE
-  SERIOUS CONDITION:
BEYOND THE END OF ITS USEFUL
LIFE

ENLARGED PLANS ARE FIT TO PAGE;
SCALE NOT CONSISTENT.

• Sanctuary 209 [1.34]

- Paint is peeling, chipping & blistering in multiple locations of walls and ceilings. This is typically caused by paint being applied to a dirty surface or fluid pockets. There appears to be no signs of water infiltration. Walls should be repaired/painted. Surfaces should be clean of debris, oils, etc. prior to painting to prevent reoccurrence.
- Wall near organ pipes is cracking and paint is chipping in multiple locations. Paint/repair as required.
- Pilasters and cornices require cleaning/repair/painting - typical.
- Vaulted ceiling appears to be cracking in multiple locations. Appears to be evidence of staining/discoloration as well. Closer investigation is required.
- Top of decorative wood columns require cleaning/painting - typical.



Paint cracking and peeling.



Blistering and peeling of paint.



Cracks above decorative wood cornice.



Paint deteriorating by cornice. Cause requires further investigation.

• Narthex 210 [1.36]

- Weather stripping at exterior doors needs replacement.



Air gap at bottom of door. Provide proper weather seals.



Bottom of wood door damaged. Repair and provide weather seals. A kick plate can help prevent damage to bottom face of door.



Sand wall smooth. Clean soot from heater. Patch paint and repair wall as required.

• Sanctuary 209 [1.34]



Cracking in ceiling.



Decorative wood column requires cleaning and painting.



Door panels are damaged and/or cracked.

• Sanctuary 209 [1.34]



Damaged drywall at fire alarm pull. Repair and paint as required.



Peeling paint and layer of dust at corbel.



Corbel appears to be deteriorating. Layer of dust visible.



Vaulted ceiling staining and cracking.

• Vestibule 216 [1.26]

Light can missing



● Exterior - 16th st
[1.52]

- Water damage and efflorescence is typical across the ceiling in the portico.
- Steps are missing mortar joints in multiple locations.
- Steps have sitting water in one location.
- Front door frames and weather stripping needs replacement.
- Front doors do not meet accessibility requirements.
- Pavers may not meet accessibility requirements.



Cast stone ceiling showing signs of water damage / needs cleaning



Cast stone stairs not level.

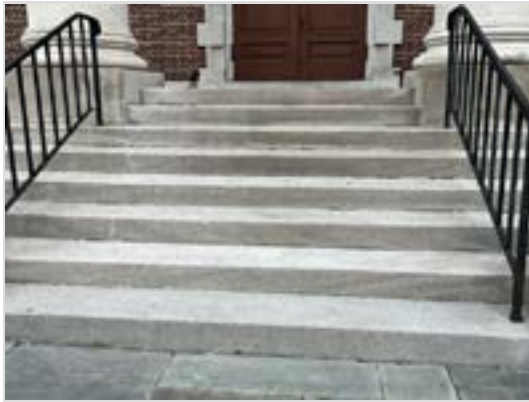


Uneven surface of pavers may not meet accessibility requirement's



Door and door frame showing signs of wear and tear, typ.

● Exterior - 16th st
[1.52]



Mortar joints deteriorating between cast stone steps.



Staircase on 16th street showing signs of corrosion on the concrete.



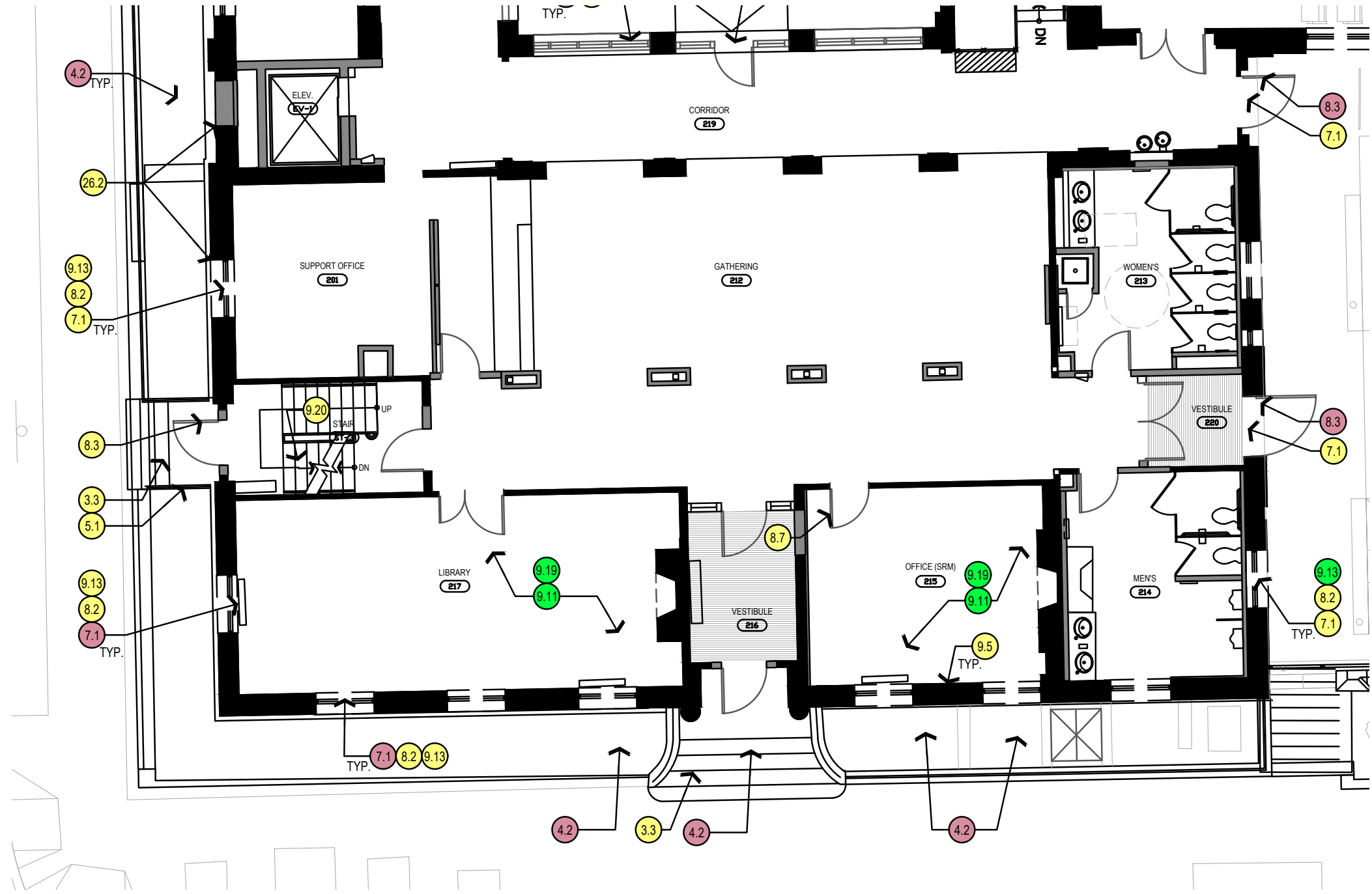
Water collecting on steps to the south west of the front facade.

● Exterior - Windows
(Sanctuary South Wall)
[1.60]

Sanctuary windows: window frame and sill in good condition, cast stone window arch has water damage and needs cleaning.



MAIN LEVEL-4



ENLARGED PLANS ARE FIT TO PAGE;
SCALE NOT CONSISTENT.

2. SITE

- 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
- 2.3 BELOW GRATES NEEDS CLEANING
- 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
- 3.1 NEEDS REPAIR
- 3.2 CAST STONE NEEDS REPAIR
- 3.3 CAST STONE NEEDS CLEANING
- 3.4 STANDING WATER IN WINDOW WELLS
- 3.5 CONCRETE NEEDS CLEANING
- 3.6 STANDING WATER ON CAST STONE STEPS
- 3.7 EFFLORESCENCE ON CAST STONE; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.

4. MASONRY

- 4.1 EVIDENCE OF WATER DAMAGE; INVESTIGATE; REPAIR.
- 4.2 EVIDENCE OF WATER INFILTRATION/ EFFLORESCENCE; INVESTIGATE; REPAIR
- 4.3 MASONRY CRACKING
- 4.4 CONC DAMAGE, EXPOSED REBAR
- 4.5 PATCH/REPAIR CMU
- 4.6 PT CMU
- 4.7 CLEAN MASONRY

5. METALS

- 5.1 RAILING POSTS NEED REPAIR
- 5.2 MTL LOUVER RUSTED
- 5.3 REPAIR/REPAINT MTL STAIRS/LAND
- 5.4 MTL GRATE OVER WELL NEEDS REPAIR
- 5.5 UNUSED
- 5.6 MTL FLASHING NEEDS TO BE REPAIRED/REPLACED

6. WOOD AND PLASTICS

- 6.1 WD LOUVER NEEDS REPAIR
- 6.2 WD PANELING NEEDS REPAIR
- 6.3 WD COLUMNS CHIPPED OR CRACKED, NEEDS REPAIR
- 6.4 WD STAIRS NEEDS REPAIR

7. THERMAL AND MOISTURE PROTECTION

- 7.1 WEATHER- STRIPPING NEEDS REPAIR OR IS MISSING

8. DOORS AND WINDOWS

- 8.1 EXT MTL FRAME & DOOR NEEDS TO BE REPAIRED/REPLACED
- 8.2 RESTORE DETERIORATING WDW/FR/SASH/SILL
- 8.3 RESTORE DETERIORATING EXT WD DOOR
- 8.4 GLASS CRACKED. NEEDS REPAIR
- 8.5 INT HM DOOR NEEDS REPAIR
- 8.6 WATER MARK ON SKYLIGHT
- 8.7 INT WD DR NEEDS REPAIR
- 8.8 INT WD DR NEEDS PAINT
- 8.9 INT WD DR FRAME NEEDS REPAIR

9. FINISHES

- 9.1 PATCH/REPAIR GWB/PLASTER HOLES
- 9.2 TERRA COTTA /EXPOSED CLAY NEEDS PATCHING/REPAIR
- 9.3 WALL CRACKED: PATCH/REPAIR
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- 9.8 PT PEWS
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- 9.16 FLOOR SCRATCHED, SCUFFED, NEEDS REFINISHING /CLEANING
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- 9.18 PT RADIATORS
- 9.19 REFINISH WOOD FLOORING
- 9.20 PT STEPS
- 9.21 CRACK IN CLG/CLG DELAMINATING/PLASTER HOLES
- 9.22 PAINT CLG

10. SPECIALTIES

- 10.1 RESTROOM DOES NOT MEET ACCESSIBILITY REQ.
- 10.2 RAILING DOES NOT MEET ACCESSIBILITY REQ.
- 10.3 PAVERS DO NOT MEET ACCESSIBILITY REQ.
- 10.4 HDWR DO NOT MEET ACCESSIBILITY REQ. NEEDS REPAIR/REPLACE

22. PLUMBING

- 22.1 PLUMBING EQUIPMENT/PIPING LEAKING; WATER DAMAGE ON SURROUNDING AREAS.
- 22.2 PIPE INSULATION IS MISSING OR NEEDS REPAIR.
- 22.3 PIPE RUSTING, NEED REPAIR/REPLACE
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23. HVAC

- 23.1 HVAC UNIT NOT LEVEL
- 23.2 HVAC UNIT NEEDS REPAIR/ REPLACEMENT
- 23.3 OPEN DUCTWORK, REPAIR

26. ELECTRICAL

- 26.1 EXT LIGHT FIXTURE NEEDS REPAIR
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LEGEND

- GOOD CONDITION: NO REPAIR REQD. AND/ OR AT BEGINNING OF USEFUL LIFE
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• Office 202 [1.29]



Clean mechanical grilles.

• Restroom 205 [1.30]



Repair hole in wall for clean smooth finish. Paint as required. Patch paint at restroom sign.

• Corridor 206 [1.31]

- Paint/repair walls as required, typical.



• Office 215 [1.27]

Decorative wood framing is cracking at seams. Fill wood cracks and paint.



• Library - 217 [1.28]



Window has been duct taped to assist with weather seal. Provide proper weather seals. Remove tape adhesive and repaint windows as required.

Tape to provide weather seal.



Debris appears to be falling from flue through damper into the hearth.

• Exterior (Harvard st entrance) [1.54]

- Significant water damage on the pediment.
- Staining (resulting from excess moisture) on stairs.
- The door and transom are in good condition.

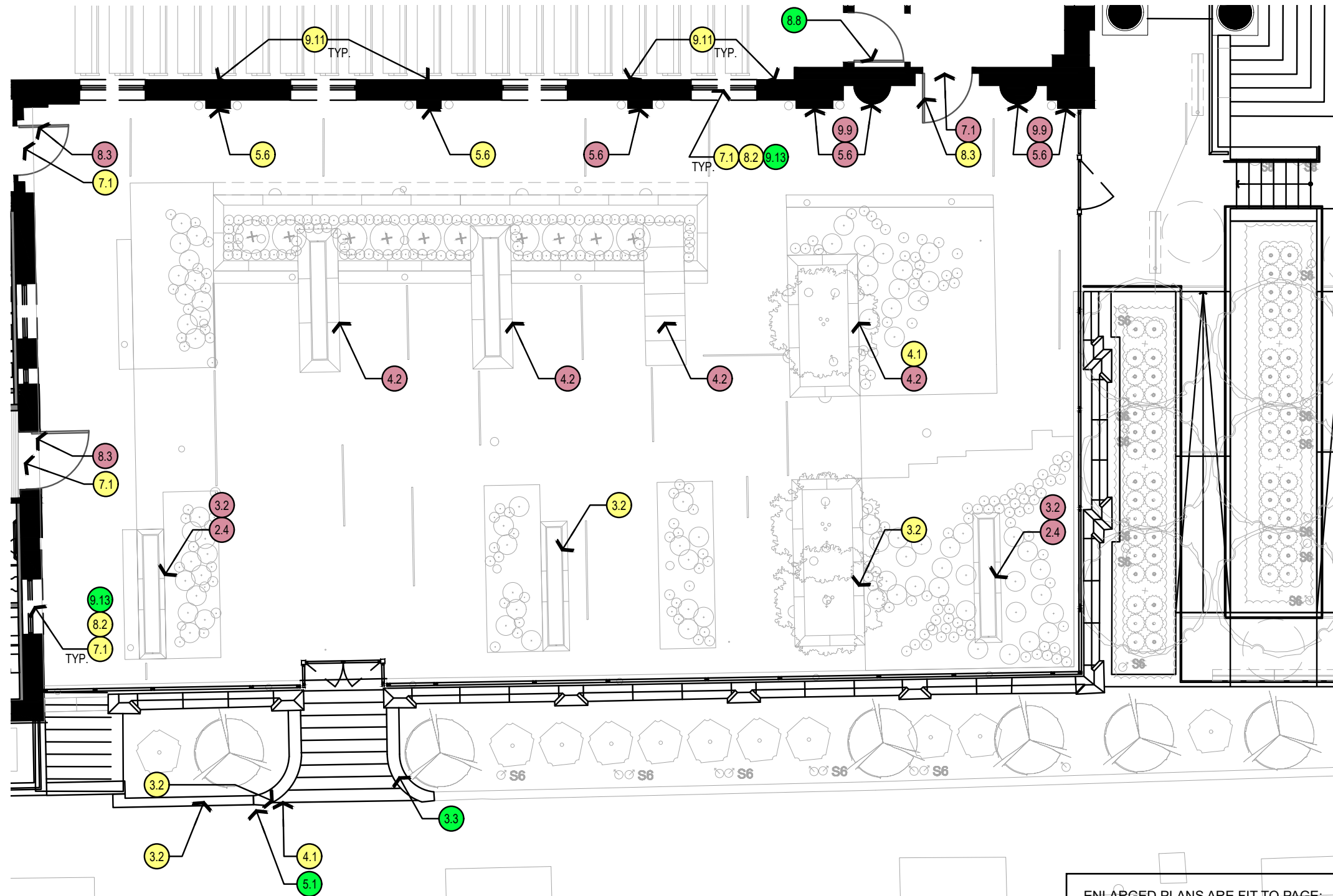


Efflorescence on cast stone steps below pediment.



Door in great condition, pediment has significant water damage.

MAIN LEVEL-5



ENLARGED PLANS ARE FIT TO PAGE;
SCALE NOT CONSISTENT.

2. SITE

- 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
- 2.3 BELOW GRATES NEEDS CLEANING
- 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB
- 3.1 NEEDS REPAIR
- 3.2 CAST STONE NEEDS REPAIR
- 3.3 CAST STONE NEEDS CLEANING
- 3.4 STANDING WATER IN WINDOW WELLS
- 3.5 CONCRETE NEEDS CLEANING
- 3.6 STANDING WATER ON CAST STONE STEPS
- 3.7 EFFLUORESCENCE ON CAST STONE; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.

4. MASONRY

- 4.1 EVIDENCE OF WATER DAMAGE; INVESTIGATE; REPAIR.
- 4.2 EVIDENCE OF WATER INFILTRATION/ EFFLORESCENCE; INVESTIGATE; REPAIR
- 4.3 MASONRY CRACKING
- 4.4 CONC DAMAGE, EXPOSED REBAR
- 4.5 PATCH/REPAIR CMU
- 4.6 PT CMU
- 4.7 CLEAN MASONRY

5. METALS

- 5.1 RAILING POSTS NEED REPAIR
- 5.2 MTL LOUVER RUSTED
- 5.3 REPAIR/REPAINT MTL STAIRS/LAND
- 5.4 MTL GRATE OVER WELL NEEDS REPAIR
- 5.5 UNUSED
- 5.6 MTL FLASHING NEEDS TO BE REPAIRED/REPLACED

6. WOOD AND PLASTICS

- 6.1 WD LOUVER NEEDS REPAIR
- 6.2 WD PANELING NEEDS REPAIR
- 6.3 WD COLUMNS CHIPPED OR CRACKED, NEEDS REPAIR
- 6.4 WD STAIRS NEEDS REPAIR

7. THERMAL AND MOISTURE PROTECTION

- 7.1 WEATHER- STRIPPING NEEDS REPAIR
OR IS MISSING

8. DOORS AND WINDOWS

- 8.1 EXT MTL FRAME & DOOR NEEDS TO BE REPAIRED/REPLACED
- 8.2 RESTORE DETERIORATING WDW/FR/SASH/SILL
- 8.3 RESTORE DETERIORATING EXT WD DOOR
- 8.4 GLASS CRACKED. NEEDS REPAIR
- 8.5 INT HM DOOR NEEDS REPAIR
- 8.6 WATER MARK ON SKYLIGHT
- 8.7 INT WD DR NEEDS REPAIR
- 8.8 INT WD DR NEEDS PAINT
- 8.9 INT WD DR FRAME NEEDS REPAIR

9. FINISHES

- 9.1 PATCH/REPAIR GWB/PLASTER HOLES
- 9.2 TERRA COTTA /EXPOSED CLAY NEEDS PATCHING/REPAIR
- 9.3 WALL CRACKED: PATCH/REPAIR
- 9.4 REPAIR FLOORING
- 9.5 REPAIR BASE
- 9.6 EVIDENCE OF ANT INFESTATION; IDENTIFY POINT OF ENTRY AND REPAIR.
- 9.7 REPAIR/REPLACE ACT
- 9.8 PT PEWS
- 9.9 EVIDENCE OF WATER INFILTRATION; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.
- 9.10 EVIDENCE OF CONDENSATE DAMAGE; INVESTIGATION AND REPAIR NEEDED.
- 9.11 PT WALLS, REPAIR
- 9.12 PT TRIM, REPAIR
- 9.13 SCRAPE/PRIME/PAINT WDW FRAME/SASH/SILL
- 9.14 PT COLUMNS
- 9.15 SCUFFS ON WALLS, NEEDS PAINT
- 9.16 FLOOR SCRATCHED, SCUFFED, NEEDS REFINISHING /CLEANING
- 9.17 UNUSED
- 9.18 PT RADIATORS
- 9.19 REFINISH WOOD FLOORING
- 9.20 PT STEPS
- 9.21 CRACK IN CLG/CLG DELAMINATING/PLASTER HOLES
- 9.22 PAINT CLG

10. SPECIALTIES

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| 10.1 | RESTROOM DOES NOT MEET ACCESSIBILITY REQ. |
| 10.2 | RAILING DOES NOT MEET ACCESSIBILITY REQ. |
| 10.3 | PAVERS DO NOT MEET ACCESSIBILITY REQ. |
| 10.4 | HDWR DO NOT MEET ACCESSIBILITY REQ.
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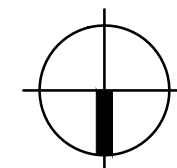
22. PLUMBING




- 22.1 PLUMBING EQUIPMENT/PIPING LEAKING; WATER DAMAGE ON SURROUNDING AREAS.
- 22.2 PIPE INSULATION IS MISSING OR NEEDS REPAIR.
- 22.3 PIPE RUSTING, NEED REPAIR/REPLACE
- 22.4 METER RUSTED, NEEDS REPAIR/REPLACE
- 22.5 PIPING EXPOSED; SURROUNDING AREAS NEED REPAIR.
- 22.6 EVIDENCE OF WATER INFILTRATION, SOURCE UNKNOWN; DAMAGE TO PIPE INSUL.

23. HVAC

- 23.1 HVAC UNIT NOT LEVEL
 - 23.2 HVAC UNIT NEEDS REPAIR/ REPLACEMENT
 - 23.3 OPEN DUCTWORK, REPAIR
26. ELECTRICAL
- 26.1 EXT LIGHT FIXTURE NEEDS REPAIR
 - 26.2 EXPOSED WIRING
 - 26.3 INT LIGHT FIXTURE NEEDS REPAIR
 - 26.4 UNUSED
 - 26.5 OUTLET MISSING COVER

LEGEND



-  GOOD CONDITION:
NO REPAIR REQD. AND/ OR AT
BEGINNING OF USEFUL LIFE
-  MODERATE CONDITION:
MINOR REPAIR REQD. AND/ OR
MIDWAY THRU USEFUL LIFE
-  SERIOUS CONDITION:
BEYOND THE END OF ITS USEFUL
LIFE

● Northwest terrace
[1.53]

- Skylights over room 127 and 123 need to be repaired; leaks or water marks are present in the interior spaces below each.
- The two pilasters closest to front of the church need to have flashing replaced; other pilaster bases should be monitored.
- Efflorescence on the raised brick walls in the terrace, typ.
- Flashing is deteriorating in sunken plant beds.



Efflorescence typical on raised brick walls.



Skylight mortar/ flashing needs immediate attention.



Skylight over room 127 needs repair.



Flashing assemblies need repair at the base of the pilasters.

- Northwest terrace [1.53]



Flashing needs to be repaired at planter on harvard st.

- Exterior (Harvard st entrance) [1.54]

- Significant water damage on the pediment.
- Staining (resulting from excess moisture) on stairs.
- The door and transom are in good condition.



Efflorescence on cast stone steps below pediment.



Door in great condition, pediment has significant water damage.

UPPER LEVEL



2. SITE

- 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
- 2.3 BELOW GRATES NEEDS CLEANING
- 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
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- 3.4 STANDING WATER IN WINDOW WELLS
- 3.5 CONCRETE NEEDS CLEANING
- 3.6 STANDING WATER ON CAST STONE STEPS
- 3.7 EFFLORESCENCE ON CAST STONE; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.

4. MASONRY

- 4.1 EVIDENCE OF WATER DAMAGE; INVESTIGATE; REPAIR.
- 4.2 EVIDENCE OF WATER INFILTRATION/ EFFLORESCENCE; INVESTIGATE; REPAIR
- 4.3 MASONRY CRACKING
- 4.4 CONC DAMAGE, EXPOSED REBAR
- 4.5 PATCH/REPAIR CMU
- 4.6 PT CMU
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- 5.2 MTL LOUVER RUSTED
- 5.3 REPAIR/REPAINT MTL STAIRS/LAND
- 5.4 MTL GRATE OVER WELL NEEDS REPAIR
- 5.5 UNUSED
- 5.6 MTL FLASHING NEEDS TO BE REPAIRED/REPLACED

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8. DOORS AND WINDOWS

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- 8.5 INT HM DOOR NEEDS REPAIR
- 8.6 WATER MARK ON SKYLIGHT
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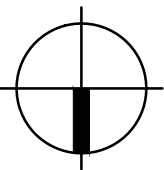
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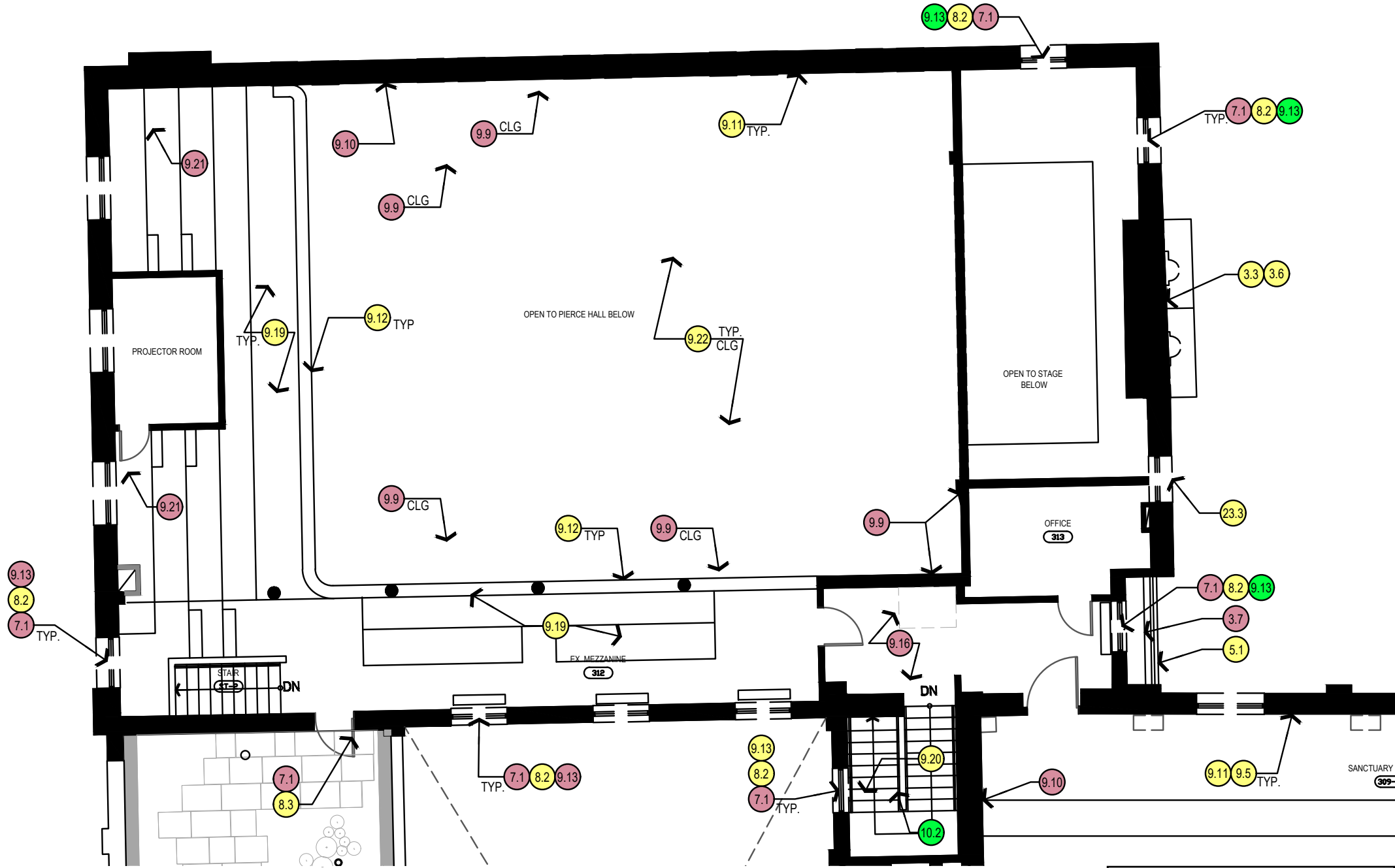
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LEGEND

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- SERIOUS CONDITION: BEYOND THE END OF ITS USEFUL LIFE



UPPER LEVEL - 1



2. SITE

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- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
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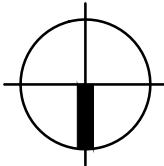
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- 23.3 OPEN DUCTWORK, REPAIR

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LEGEND



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● Pierce Hall Mezzanine
- 312 [1.33]



Door does not have weather seals. Seals should be provided. Paint scuffed - paint/clean as required.



Ceiling paint is cracking. Appears to be due to age and base surfacing. Strip old paint layers and repaint.

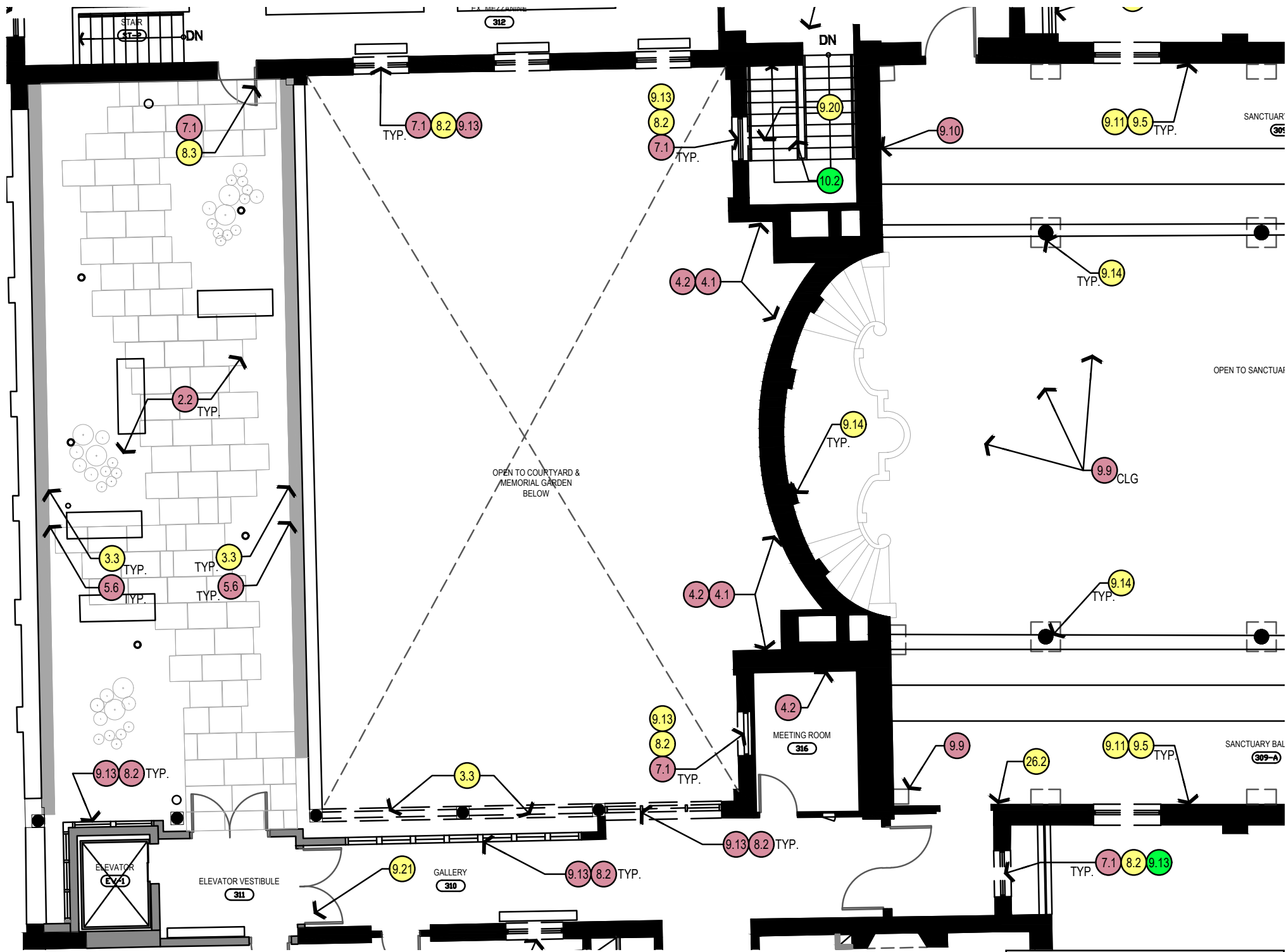


Repaint windows and provide weather seals.



Projector room has some general wear and tear. Walls have some damage/chipping paint.

UPPER LEVEL - 2



2. SITE

- 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
- 2.3 BELOW GRATES NEEDS CLEANING
- 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
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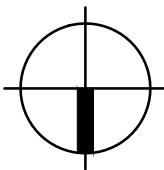
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• Jenny Lynn Terrace
[1.55]

- Flexible pavers need to be replaced or re-attached.
- Flashing needs to be replaced.
- Door to the terrace requires repair, refinishing, and/or replacement
- Window wall surrounding the elevator needs repair, refinishing, and/or replacement



Flashing needs replacement



Water damage on cornice



Flexible pavers need replacement



Door frame and weather-stripping needs repair, refinishing, and/or replacement.



Standing water; slope to drain

● Jenny Lynn Terrace
[1.55]



Exposed wood; window frames need repair, refinishing, and/or replacement



Joint between window wall and masonry portico needs repair.

● Exterior - Masonry
(Sanctuary East Wall)
[1.61]

Efflorescence under cornice; gutters above cornice need to be repaired and/or replaced

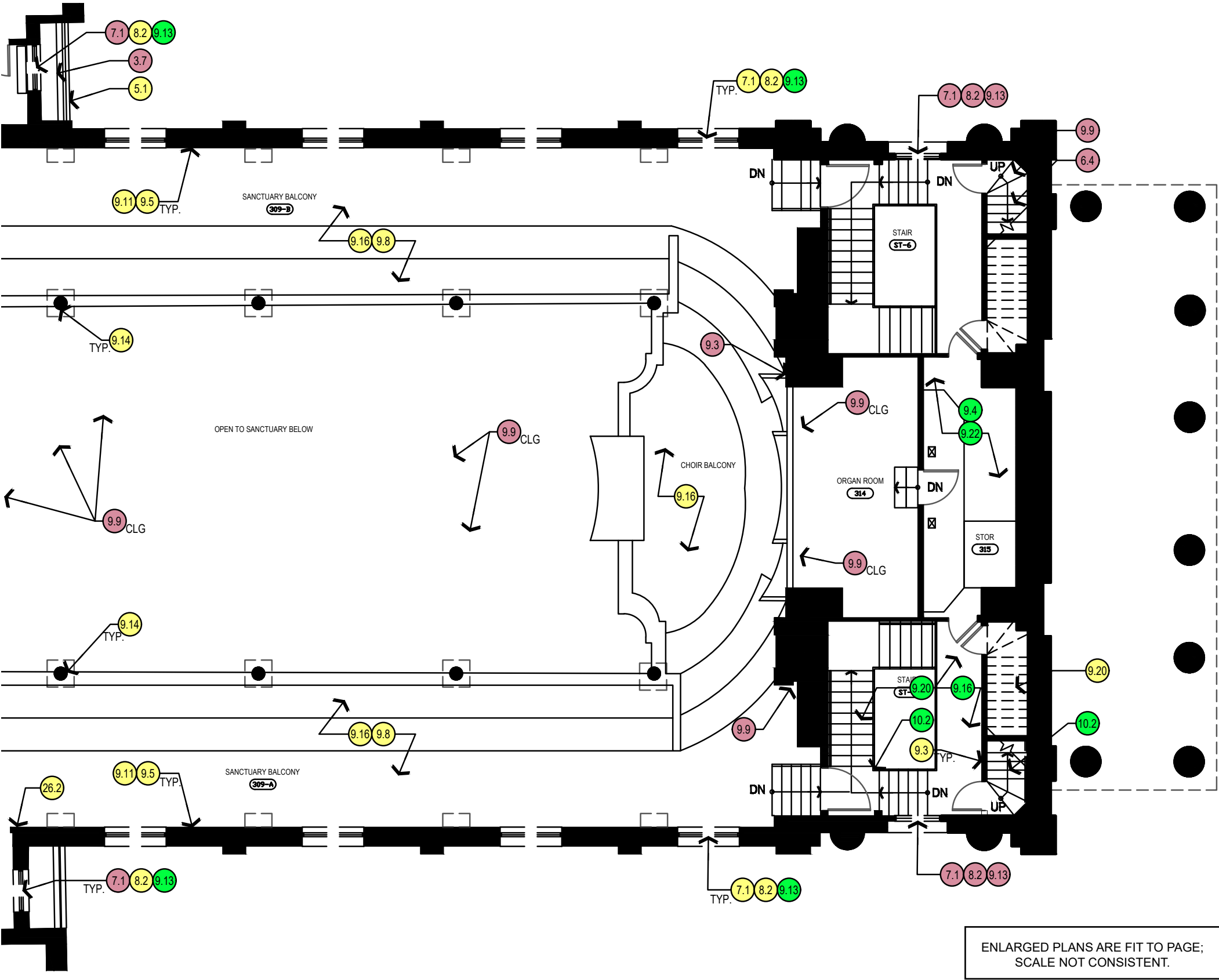


- Room 316 [1.50]

- Paint is peeling, chipping & blistering in multiple locations of walls and ceilings. This is typically caused by paint being applied to a dirty surface or fluid pockets. Base surface appears to be concrete. Moisture could be seeping through concrete. Paint should be removed and room dried out. Prime base with concrete densifier followed by a penetrating water repellent seal to keep out moisture.



UPPER LEVEL - 3



2. SITE

- (2.1) SITE STONE PAVERS NEED CLEANING & REPAIR
- (2.2) FLEXIBLE PAVERS NEED REPLACEMENT
- (2.3) BELOW GRATES NEEDS CLEANING
- (2.4) EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
- (3.1) NEEDS REPAIR
- (3.2) CAST STONE NEEDS REPAIR
- (3.3) CAST STONE NEEDS CLEANING
- (3.4) STANDING WATER IN WINDOW WELLS
- (3.5) CONCRETE NEEDS CLEANING
- (3.6) STANDING WATER ON CAST STONE STEPS
- (3.7) EFFLORESCENCE ON CAST STONE; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.

4. MASONRY

- (4.1) EVIDENCE OF WATER DAMAGE; INVESTIGATE; REPAIR.
- (4.2) EVIDENCE OF WATER INFILTRATION/ EFFLORESCENCE; INVESTIGATE; REPAIR
- (4.3) MASONRY CRACKING
- (4.4) CONC DAMAGE, EXPOSED REBAR
- (4.5) PATCH/REPAIR CMU
- (4.6) PT CMU
- (4.7) CLEAN MASONRY

5. METALS

- (5.1) RAILING POSTS NEED REPAIR
- (5.2) MTL LOUVER RUSTED
- (5.3) REPAIR/REPAINT MTL STAIRS/LAND
- (5.4) MTL GRATE OVER WELL NEEDS REPAIR
- (5.5) UNUSED
- (5.6) MTL FLASHING NEEDS TO BE REPAIRED/REPLACED

6. WOOD AND PLASTICS

- (6.1) WD LOUVER NEEDS REPAIR
- (6.2) WD PANELING NEEDS REPAIR
- (6.3) WD COLUMNS CHIPPED OR CRACKED, NEEDS REPAIR
- (6.4) WD STAIRS NEEDS REPAIR

7. THERMAL AND MOISTURE PROTECTION

- (7.1) WEATHER- STRIPPING NEEDS REPAIR OR IS MISSING

8. DOORS AND WINDOWS

- (8.1) EXT MTL FRAME & DOOR NEEDS TO BE REPAIRED/REPLACED
- (8.2) RESTORE DETERIORATING WDW/FR/SASH/SILL
- (8.3) RESTORE DETERIORATING EXT WD DOOR
- (8.4) GLASS CRACKED. NEEDS REPAIR
- (8.5) INT HM DOOR NEEDS REPAIR
- (8.6) WATER MARK ON SKYLIGHT
- (8.7) INT WD DR NEEDS REPAIR
- (8.8) INT WD DR NEEDS PAINT
- (8.9) INT WD DR FRAME NEEDS REPAIR

9. FINISHES

- (9.1) PATCH/REPAIR GWB/PLASTER HOLES
- (9.2) TERRA COTTA /EXPOSED CLAY NEEDS PATCHING/REPAIR
- (9.3) WALL CRACKED: PATCH/REPAIR
- (9.4) REPAIR FLOORING
- (9.5) REPAIR BASE
- (9.6) EVIDENCE OF ANT INFESTATION; IDENTIFY POINT OF ENTRY AND REPAIR.
- (9.7) REPAIR/REPLACE ACT
- (9.8) PT PEWS
- (9.9) EVIDENCE OF WATER INFILTRATION; SURFACE DAMAGE. IDENTIFY SOURCE; REPAIR.
- (9.10) EVIDENCE OF CONDENSATE DAMAGE; INVESTIGATION AND REPAIR NEEDED.
- (9.11) PT WALLS, REPAIR
- (9.12) PT TRIM, REPAIR
- (9.13) SCRAPE/PRIME/PAINT WDW FRAME/SASH/SILL
- (9.14) PT COLUMNS
- (9.15) SCUFFS ON WALLS, NEEDS PAINT
- (9.16) FLOOR SCRATCHED, SCUFFED, NEEDS REFINISHING /CLEANING
- (9.17) UNUSED
- (9.18) PT RADIATORS
- (9.19) REFINISH WOOD FLOORING
- (9.20) PT STEPS
- (9.21) CRACK IN CLG/CLG DELAMINATING/PLASTER HOLES
- (9.22) PAINT CLG

10. SPECIALTIES

- (10.1) RESTROOM DOES NOT MEET ACCESSIBILITY REQ.
- (10.2) RAILING DOES NOT MEET ACCESSIBILITY REQ.
- (10.3) PAVERS DO NOT MEET ACCESSIBILITY REQ.
- (10.4) HDWR DO NOT MEET ACCESSIBILITY REQ. NEEDS REPAIR/REPLACE

22. PLUMBING

- (22.1) PLUMBING EQUIPMENT/PIPING LEAKING; WATER DAMAGE ON SURROUNDING AREAS.
- (22.2) PIPE INSULATION IS MISSING OR NEEDS REPAIR.
- (22.3) PIPE RUSTING, NEED REPAIR/REPLACE
- (22.4) METER RUSTED, NEEDS REPAIR/REPLACE
- (22.5) PIPING EXPOSED; SURROUNDING AREAS NEED REPAIR.
- (22.6) EVIDENCE OF WATER INFILTRATION, SOURCE UNKNOWN; DAMAGE TO PIPE INSUL.

23. HVAC

- (23.1) HVAC UNIT NOT LEVEL
- (23.2) HVAC UNIT NEEDS REPAIR/ REPLACEMENT
- (23.3) OPEN DUCTWORK, REPAIR

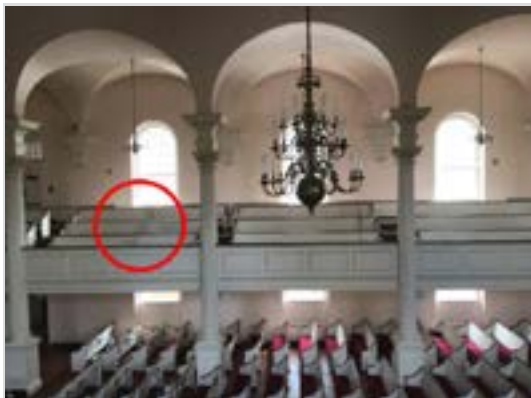
26. ELECTRICAL

- (26.1) EXT LIGHT FIXTURE NEEDS REPAIR
- (26.2) EXPOSED WIRING
- (26.3) INT LIGHT FIXTURE NEEDS REPAIR
- (26.4) UNUSED
- (26.5) OUTLET MISSING COVER

LEGEND

- GOOD CONDITION: NO REPAIR REQD. AND/ OR AT BEGINNING OF USEFUL LIFE
- MODERATE CONDITION: MINOR REPAIR REQD. AND/ OR MIDWAY THRU USEFUL LIFE
- SERIOUS CONDITION: BEYOND THE END OF ITS USEFUL LIFE

● Sanctuary Balconies -
309-A/309-B [1.35]



Inconsistent finish on pews - typical. Refinish pews as required.



Perimeter wainscoting is chipping. Repair/paint as required.



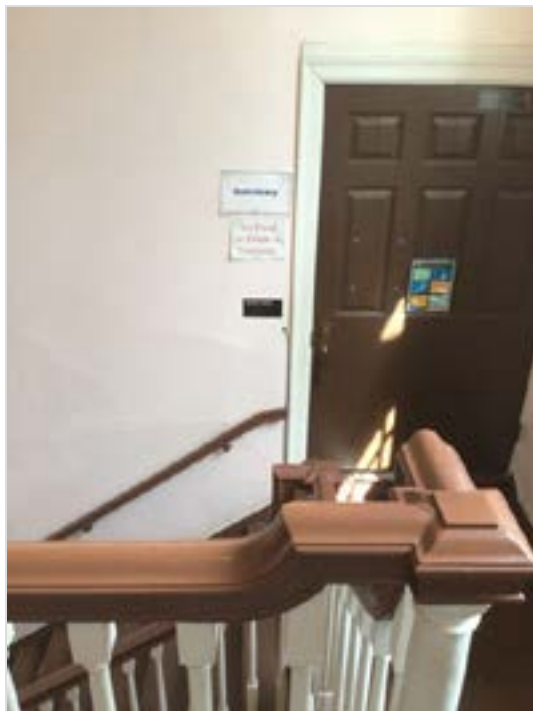
Exposed wiring in multiple locations.

• Stair 6 [1.38]

- Window sill and frame need to be refinished/painted.
- Paint is peeling, chipping & blistering in multiple locations of walls and ceilings. This is typically caused by paint being applied to a dirty surface or fluid pockets. There appears to be no signs of water infiltration. Walls should be repaired/painted. Surfaces should be clean of debris, oils, etc. prior to painting to prevent reoccurrence.



Floor is damaged. Repair as needed.



● Organ Room [1.39]

- Paint is deteriorating near vaulted ceiling.
- Cracking can be seen in ceiling radiating from down light.
- Areas should be repaired and repainted.



● Youth Room 401 [1.40]

- Evidence of water damage in multiple locations.

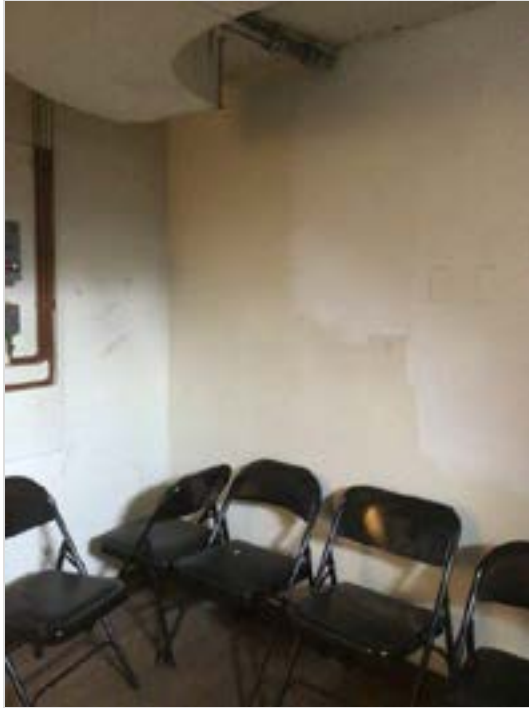


Signs of potential pipe leak due to staining.



Evidence of water infiltration at window. Investigate source, repair as required and paint wall.

● Storage 403 [1.41]



Patch paint areas are obvious. Paint entire room for clean consistent finish.

● Bell tower stairs [1.42]

- Paint is peeling, chipping & blistering in multiple locations of walls and ceilings. This is typically caused by paint being applied to a dirty surface or fluid pockets. There appears to be no signs of water infiltration. Walls should be repaired/painted. Surfaces should be clean of debris, oils, etc. prior to painting to prevent reoccurrence.



Paint blistering.



Stair nosings splintering and damaged. Stair requires refinishing can be applied to tread nosings to help prevent damage of stairs.

● Bell tower stairs
[1.42]



Stair nosings splintering and damaged. Stair requires refinishing can be applied to tread nosings to help prevent damage of stairs.

● Stair 3 [1.43]

- Paint is peeling, chipping & blistering in multiple locations of walls and ceilings. This is typically caused by paint being applied to a dirty surface or fluid pockets. There appears to be no signs of water infiltration. Walls should be repaired/painted. Surfaces should be clean of debris, oils, etc. prior to painting to prevent reoccurrence.



- Youth Room 401
[1.40]



Paint blistering.

- Storage 403 [1.41]



Door to bell tower requires repair and paint.



Paint is peeling, chipping & blistering in multiple locations of walls and ceilings. This is typically caused by paint being applied to a dirty surface or fluid pockets. There appears to be no signs of water infiltration. Walls should be repaired/painted.

• Stair 5 [1.37]

- Paint is peeling, chipping & blistering in multiple locations of walls and ceilings. This is typically caused by paint being applied to a dirty surface or fluid pockets. There appears to be no signs of water infiltration. Walls should be repaired/painted. Surfaces should be clean of debris, oils, etc. prior to painting to prevent reoccurrence.
- Window frame a mullions require repair and painting.



Blistering and peeling paint.

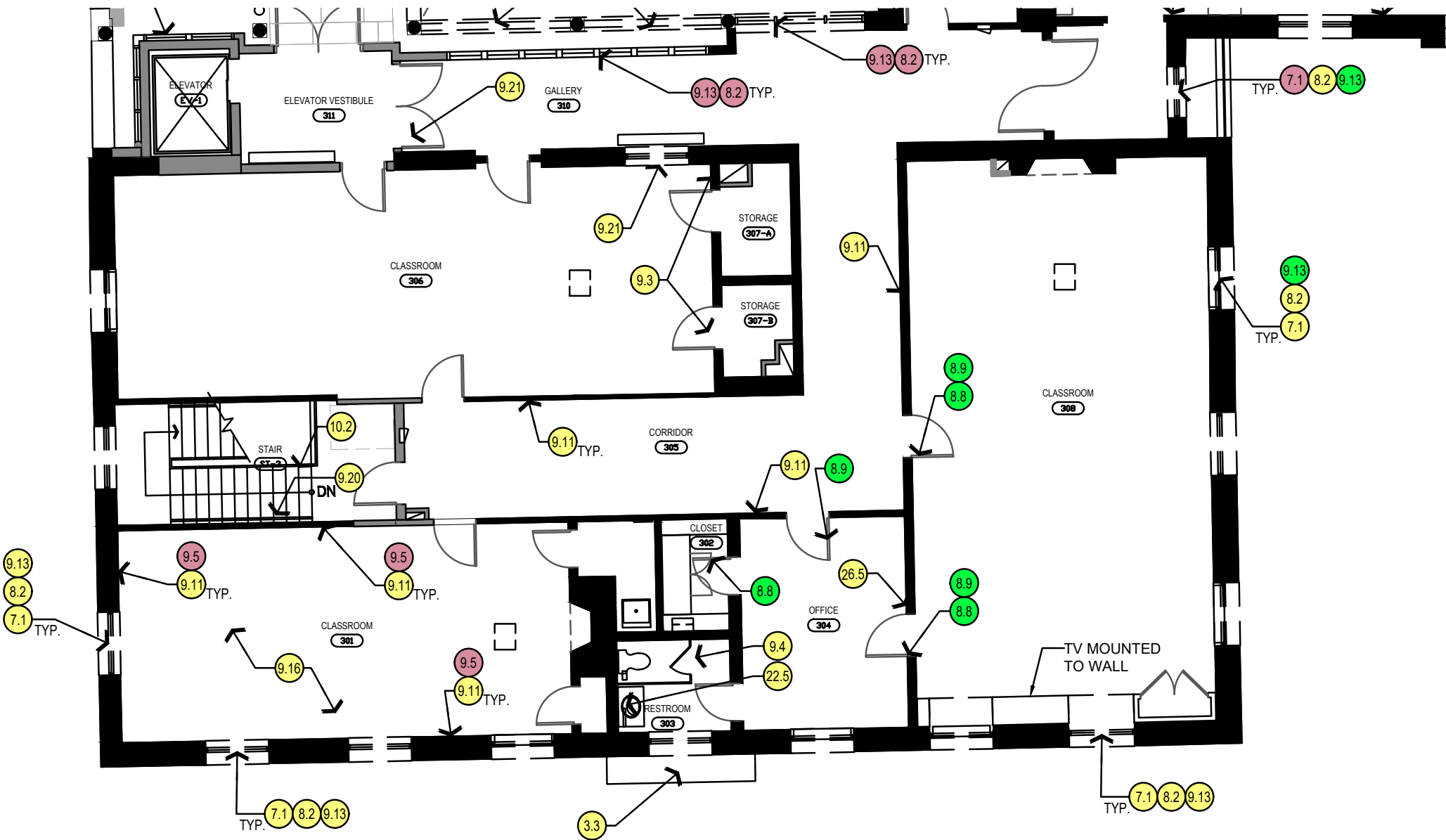


Deteriorating wood frame. Repair and paint.



Stair nosings splintering and damaged. Stair requires painting. Rubber surfacing can be applied to tread nosings to help prevent damage of stairs.

UPPER LEVEL - 4



2. SITE

- 2.1 SITE STONE PAVERS NEED CLEANING & REPAIR
- 2.2 FLEXIBLE PAVERS NEED REPLACEMENT
- 2.3 BELOW GRATES NEEDS CLEANING
- 2.4 EVIDENCE OF WATER INFILTRATION BELOW; POSSIBLE LEAK IN SITE WORK. IDENTIFY SOURCE; REPAIR. CONC CRACKING & STAIRS/ CURB NEEDS REPAIR
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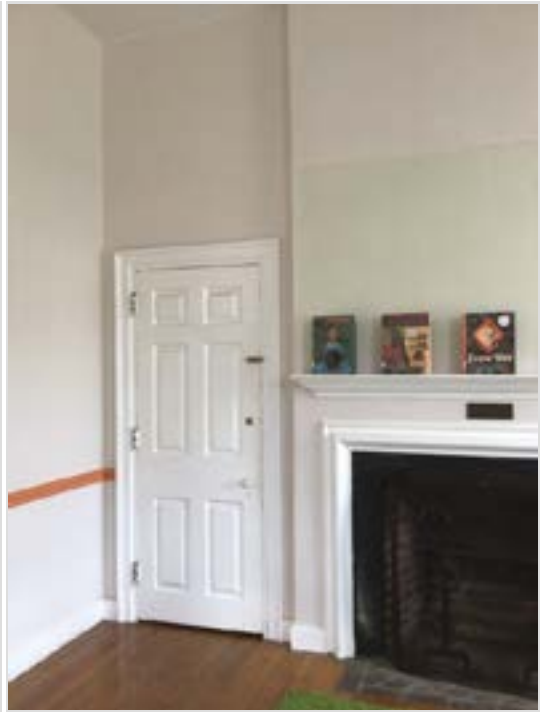
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● Classroom - 301
[1.44]



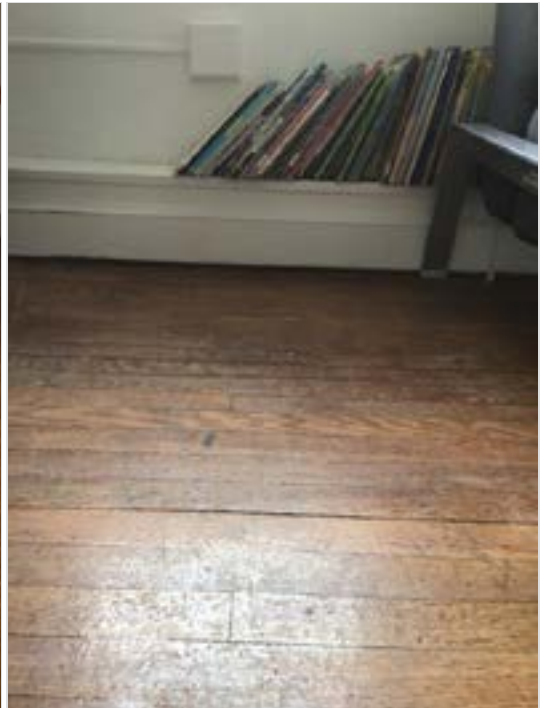
Painting is inconsistent in multiple locations. Repaint room for solid consistent finish.



Closet doors require repair and paint.



Scuffs on wood floor. Buff and clean.



Gap between floor and wood base. Creates a space to catch a significant amount of dust and debris. Recommend installing a bullnose trim piece.

● Classroom - 301
[1.44]



Wall finish in closets are cracking; cause unknown. Further investigation is required.



Cracking in closet wall; cause unknown. Further investigation is required.



Repaint wood wall base.



Repair/paint window.

● Classroom - 301
[1.44]



Hole in wood floor.

● Restroom 303 [1.45]



Floor is showing signs of deterioration. Recommend replacing in near future.

● Restroom 303 [1.45]



Provide heat shield to keep PVC pipes protected. Seal wall penetration.



Lavatory pulling away from wall. Re-secure and repair/paint wall.

● Corridor 305 [1.46]

- Paint is peeling, chipping & blistering in multiple locations of walls and ceilings. This is typically caused by paint being applied to a dirty surface or fluid pockets. There appears to be no signs of water infiltration. Walls should be repaired/painted. Surfaces should be clean of debris, oils, etc. prior to painting to prevent reoccurrence.



● Classroom - 306
[1.47]



Crack in wall above door. Repair and paint.

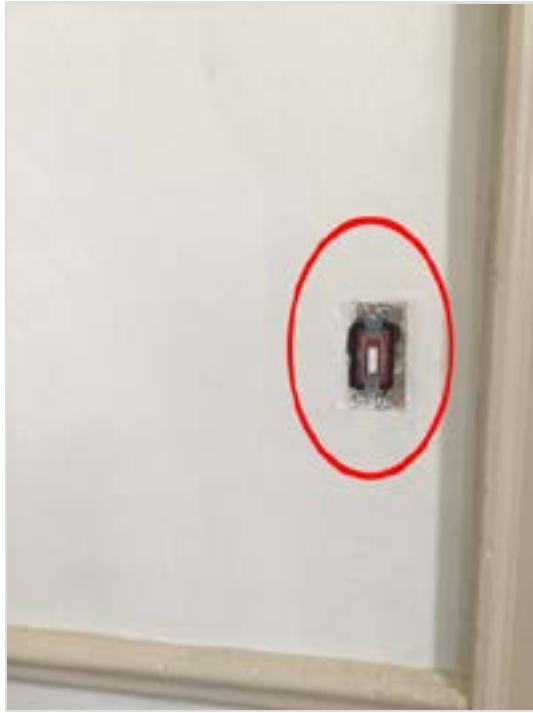


Crack to side of door. Repair and paint.



Door frame settling and "detaching" from wall. Remove frame to confirm proper blocking is provided. Reinstall with proper support and paint frame and wall as required.

- Classroom 308 [1.48]



Install light switch plate.



Patch paint room as required.



Wood trim requires repainting in multiple locations.

• Gallery 310 [1.49]

- Wood chipped on windows. Repair and repaint.
- Balusters were removed and not replaced. Keep an eye on demo'd area for potential deterioration.



• Room 316 [1.50]

- Paint is peeling, chipping & blistering in multiple locations of walls and ceilings. This is typically caused by paint being applied to a dirty surface or fluid pockets. Base surface appears to be concrete. Moisture could be seeping through concrete. Paint should be removed and room dried out. Prime base with concrete densifier followed by a penetrating water repellent seal to keep out moisture.

GENERAL EXTERIOR CONDITIONS

- Exterior - Masonry (15th St. and Harvard St.) [1.56]

Mortar patches or unfilled holes in masonry are common along exterior on Harvard St. and 15th St.



Railing replaced, holes in the masonry left un-filled.



Mortar joint missing near window.



Cast stone cracked

- Exterior - Masonry
(15th St. and Harvard St.) [1.56]



Lighting fixture or flag pole was removed but the hole was not properly filled.

- Exterior - Windows
(15h st and Harvard st)
[1.57]

- Lower level windows are in the worst condition; when the paint is chipped it is likely the wood is also rotting.
- Main level windows are in good condition but the paint is cracking and should be re-painted to avoid damage to the wood frame.
- Upper level windows are in best condition showing minimal damage to paint.



Good window (restored 2015) Frame needs monitoring



Upper level window restored in 2015 and still in good condition.

- Exterior - Windows
(15h st and Harvard st)
[1.57]



Lower level window



A number of windows on 15th st were not painted in 2015 -
- Wood exposed on most typ



Window restored in 2015; paint still intact but monitor.



Main level window: paint and weatherstripping may need attention. Window panes and frames will need to be monitored for replacement.

- Exterior (15th St)
[1.58]

Façade elements directly below the Jenny Lynn Terrace on 16th street show have significant water damage when compared to other parts of the façade. The assumption is that water is not draining properly from the terrace and, as a result, damaging the masonry and stone below.



● Exterior (Moat) [1.59]

The moat has various issues with drainage, exposed wiring, and rusting.



Structural issues appearing in the boiler room below this drain.



The area below this drain is showing signs of water damage. The efflorescence leads us to believe water has collected here and leaked into the space below.



Water collecting under garbage enclosure



Railing rusting

- Exterior (Moat) [1.59]



Drain raised above slab + dirt collecting



Exposed wiring entering the building through windows.



Meter rusting

● Exterior - Lower Level
Window Wells (general
issue) [1.63]

Lower level window wells across the board:
-Louvers require cleaning
-Debris below metal grates requires removal
-Metal window bars require replacement due to rusting



- Exterior - Moat (15th Street) [1.64]



Efflorescence on cast stone directly below the roof line.



Cornicing has water damage; needs cleaning and gutters may need replacement.



General Conditions:

This Field Report is based on reasonably observable conditions at the site. It has been prepared to the best of the Architect's knowledge, information and belief, for the Owner's sole benefit. Other parties are not entitled to rely on this report.